

F45 STUDIO - GLEN COVE

FIRST FLOOR INTERIOR RENOVATION

95 SCHOOL ST.
GLEN COVE, NY

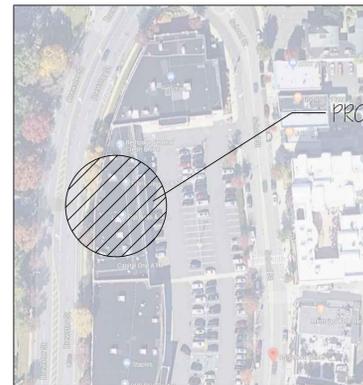
THESE DRAWINGS ARE PREPARED TO COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING CODE OF NEW YORK STATE. THE PROVISIONS OF THIS CODE SHALL NOT BE DEEMED TO NULLIFY ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS AND REGULATIONS.

CONTRACTOR'S OBLIGATIONS AND RESPONSIBILITIES:

1. CONTRACTOR(S) AND THEIR RESPECTIVE SUBCONTRACTORS AND CONSULTANTS SHALL BE RESPONSIBLE FOR ARRANGING AND SCHEDULING ALL REQUIRED VILLAGE, TOWN, CITY, COUNTY AND STATE INSPECTIONS AND OBTAINING ALL APPROVALS/ SIGN OFFS AND SUBMIT THESE DOCUMENTS TO THE ARCHITECT/ ENGINEER OF RECORD.
2. CONTRACTOR SHALL CONSULT AND COORDINATE WITH THE MUNICIPALITY'S BUILDING DEPARTMENT AS WELL AS THE COUNTY AND STATE AGENCIES FOR THE REQUIRED INSPECTIONS.

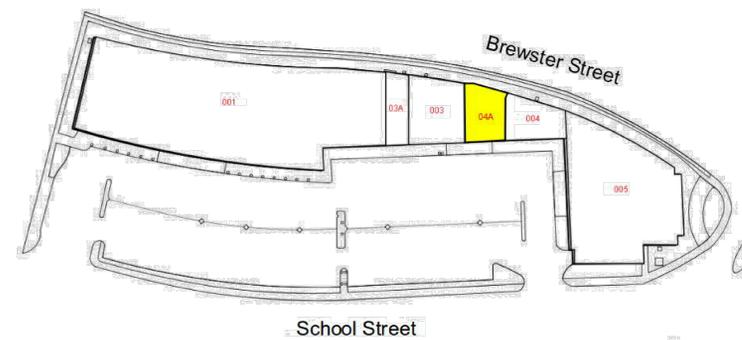
GENERAL NOTES

1. ALL WORK SHALL BE GOVERNED BY THE TERMS AND CONDITIONS OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AND THE REQUIREMENTS OF ALL APPROPRIATE PUBLIC AUTHORITY, REGULATORY AGENCIES, AND/OR LANDLORD.
2. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, REGULATIONS AND ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK INDICATED IN THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS, APPROVALS, CONTROLLED INSPECTIONS, AS WELL AS THEIR ASSOCIATED FEES, FOR ALL TRADES, EXCEPT WHERE SPECIFIED AND AGREED UPON ELSEWHERE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH BUILDING MANAGEMENT FOR ELEVATORS OR OTHER HOISTING FACILITIES FOR HANDLING MATERIALS AND REMOVAL OF DEMOLITION DEBRIS.
5. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH CONDITIONS THEREON AND TO DETERMINE THE EXTENT OF ALL FACILITIES AND SERVICES REQUIRED TO PERFORM THE WORK IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL MAINTAIN ONE COPY OF THE LATEST CONTRACT DOCUMENTS INCLUDING ALL CHANGES AT THE JOBSITE FOR THE USE OF THE ARCHITECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF ALL HIS/HER EMPLOYEES AND ALL SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK FOR THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED ANYWHERE WITHIN THE BOUNDARIES OF THE PROPERTY, AND ANY DAMAGE SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
9. DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL REGULARLY REMOVE ALL UNUSED MATERIAL, RUBBISH, AND DEBRIS FROM THE PROPERTY AND BROOM CLEAN DAILY. THE SITE AND PREMISES SHALL BE KEPT REASONABLY CLEAN, NEAT AND ORDERLY TO THE SATISFACTION OF THE OWNER.
10. THE CONTRACTOR SHALL CONTROL CLEANING OPERATIONS TO PREVENT DIRT OR DUST FROM LEAVING THE JOBSITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.
11. ALL SLAB DRILLING AND CUTTING SHALL BE DONE AFTER NORMAL BUSINESS HOURS OR AS DIRECTED IN WRITING BY THE OWNER.
12. RELOCATION AND/OR INTERRUPTION OF ANY BUILDING UTILITIES INCLUDING, BUT NOT LIMITED TO STEAM, CONDENSATE LINES, ELECTRICAL, PLUMBING, TELECOMMUNICATIONS, ETC., MUST BE COORDINATED WITH BUILDING MANAGEMENT AND BE PERFORMED AFTER NORMAL BUSINESS HOURS, OR AS DIRECTED BY THE OWNER.
13. THE CONTRACTOR SHALL PROVIDE ALL SLAB OPENINGS TO COMPLETE THE GENERAL CONSTRUCTION, HVAC, PLUMBING, SPRINKLER, ELECTRICAL AND ANY OTHER WORK REQUIRED BY THE CONTRACT DOCUMENTS.
14. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL REPORT ANY DISCREPANCIES AND/OR CONDITIONS WHICH WOULD INTERFERE WITH THE COMPLETION OF THE WORK TO THE ARCHITECT. COMMENCEMENT OF THE WORK SHALL SIGNIFY ACCEPTANCE OF ANY AND ALL JOBSITE CONDITIONS.
15. THE CONTRACTOR SHALL SUBMIT CUTS AND SAMPLES OF FINISHES FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING, FABRICATION, OR COMMENCEMENT OF THE WORK.
16. WHEN "APPROVED EQUAL," "EQUAL TO," OR WHERE OTHER QUALIFYING TERMS ARE USED, SUBSTITUTIONS SHALL BE BASED SOLELY UPON THE REVIEW AND APPROVAL OF THE ARCHITECT. THE BURDEN OF PROOF THAT A PRODUCT OR SYSTEM MEETS OR EXCEEDS THAT WHICH WAS SPECIFIED LIES ENTIRELY ON THE CONTRACTOR.
17. THE CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMISSION TO THE ARCHITECT FOR HIS REVIEW, AND PRIOR TO THE COMMENCEMENT OF THE WORK. SUBMITTAL SHALL BE IN THE FORM OF ONE (1) REPRODUCIBLE SEPIA TRANSPARENCY (POSITIVE SIDE UP), THREE (3) B&W PRINTS OF EACH DRAWING. SUBMIT FIVE (5) COPIES OF ALL CUTS.
18. ANNOTATIONS ON ANY PLAN, ELEVATION, SECTION, OR DETAIL ARE APPLICABLE TO ALL PLANS, ELEVATIONS, SECTIONS, AND DETAILS.
19. DO NOT SCALE DRAWINGS. USE DIMENSIONAL NOTATIONS ONLY.
20. ALL DIMENSIONS ARE SHOWN TO FINISH SURFACES UNLESS OTHERWISE NOTED.
21. LARGE SCALE DRAWINGS (I.E. SECTIONS, DETAILS, ETC.) TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. SPECIFICATIONS TAKE PRECEDENCE OVER DRAWINGS.
22. ALL FIRE RATED AND SOUND ATTENUATING PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURE ABOVE, EXCEPT IF NOTED OTHERWISE.
23. WHERE A NEW PARTITION ALIGNS WITH AN EXISTING INTERIOR COLUMN ENCLOSURE THE OUTER LAYER OF GYPSUM BOARD SHALL BY-PASS AND BE LAMINATED TO THE EXISTING FINISH ACCESS PANELS, ELECTRICAL DEVICES, ETC., SHALL BE RESET AS REQUIRED.
24. ALL NEW PARTITIONS SHALL MATCH EXISTING ADJACENT PARTITIONS IN REGARD TO CONSTRUCTION, MATERIAL RATING, AND FINISH, UNLESS OTHERWISE NOTED.
25. WHERE EXISTING WALLS, FLOORS, CEILINGS, ETC., ARE REMOVED, PATCH TO MATCH EXISTING FINISHES, TEXTURE, AND COLOR IN ADJACENT AREA.
26. WHERE MECHANICAL, ELECTRICAL OR PLUMBING DEVICES ARE REMOVED OR INSTALLED IN EXISTING PARTITIONS, THE CONTRACTOR SHALL FRAME AND PATCH TO MATCH ALL EXISTING ADJACENT MATERIALS, FINISHES AND FIRE RATINGS.
27. WHERE DUCTS, ELECTRICAL CONDUIT OR PLUMBING PIPING PASS THROUGH FLOORS, WALLS, OR CEILINGS; CLOSE OFF SPACE BETWEEN THE PIPE/ DUCT AND THE CONSTRUCTION WITH NONCOMBUSTIBLE INSULATION AND PROVIDE SNUG FIT METAL ESCUTCHEON CAPS ON BOTH SIDES AND CALK.
28. ALL OUTLETS AND SWITCH PLATES ARE TO BE BUILDING STANDARD, UNLESS OTHERWISE NOTED.
29. THE CONTRACTOR SHALL PROVIDE WALL AND CEILING ACCESS PANELS AS REQUIRED BY THE MECHANICAL, ELECTRICAL AND PLUMBING WORK AS DIRECTED BY THE ARCHITECT.
30. THE CONTRACTOR SHALL REPAIR, CLEAN OR REPLACE AS REQUIRED ALL EXISTING ACCESS PANELS TO REMAIN WITHIN THE CONTRACT LIMITS AS DIRECTED BY THE ARCHITECT.
31. ALL DRAWINGS AND NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.
32. IN THE EVENT OF DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, THE ARCHITECT OF RECORD SHALL DECIDE WHICH DRAWING SHALL RULE CONSTRUCTION AND/ OR SCOPE OF WORK.
33. SHOULD ANY OF THE PARTITIONS TO BE REMOVED BE FOUND TO BE LOAD BEARING, NOTIFY THE ARCHITECT IMMEDIATELY OF THE CONDITIONS PRIOR TO PERFORMING ANY WORK.
34. THESE DOCUMENTS DO NOT AUTHORIZE THE REMOVAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. THE DETERMINATION OF THE PRESENCE, AND/ OR REMOVAL OF THESE MATERIALS IS THE RESPONSIBILITY OF OTHERS.
35. PROVIDE A MINIMUM OF FOUR (4), 25 LB FIRE EXTINGUISHERS APPROVED FOR 'A', 'B' AND 'C' TYPE FIRES, TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN IN WORKING ORDER ON THE FLOORS WHEN CONTRACT WORK IS IN PROGRESS.
36. GENERAL CONTRACTOR TO OBTAIN A DEMOLITION PERMIT OR CONSTRUCTION PERMIT PRIOR TO THE COMMENCEMENT OF WORK. A COPY OF SUCH DOCUMENTS SHALL BE FURNISHED TO THE BUILDING MANAGER, OWNER TENANT AND THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.



PROPOSED AREA OF WORK

KEY PLAN

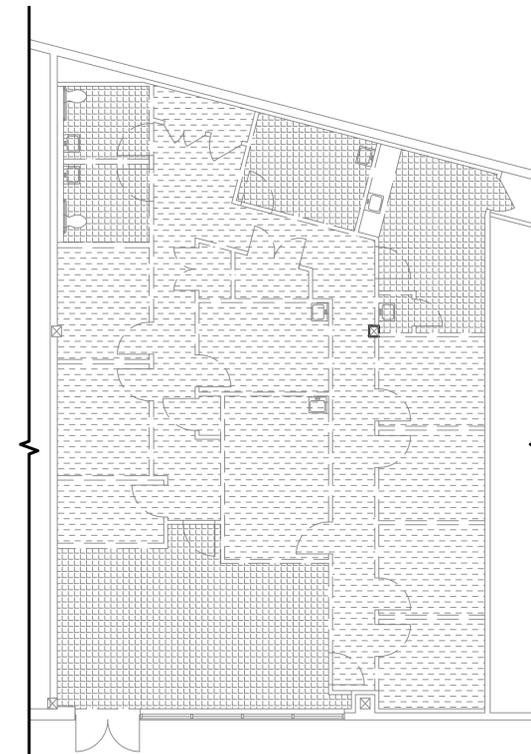


1 PLOT PLAN
SCALE: 1/16"=1'-0"



AREA OF FIRST FLOOR TENANT (F 45)
RENOVATION WITHIN EXISTING FOOTPRINT

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED



2 DEMOLITION PLAN
SCALE: 1/16"=1'-0"

DRAWING LIST

T-1	TITLE SHEET AND NOTES
A-1	PROPOSED EGRESS & OCCUPANCY PLAN
A-2	PROPOSED NEW WORK & FINISH PLAN
A-3	PROPOSED RCP
A-4	PROPOSED TELE/DATA/ELEC & FURNITURE & EQUIPMENT PLAN
A-5	PROPOSED INTERIOR ELEVATIONS & EXTERIOR ELEVATION

TENANT WALL:
NO SEPARATION REQUIREMENT

ALL WORK TO CONFORM TO NYS BUILDING CODE - 2015

NO.	BUILDING DEPT. REVISION/ ISSUED	JDW BY:	-/-/19 DATE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS OR ALTERATIONS BY OTHERS IS PROHIBITED.

INTERIOR RENOVATION: F 45 GLEN COVE

95 SCHOOL ST.
GLEN COVE, NY 11542

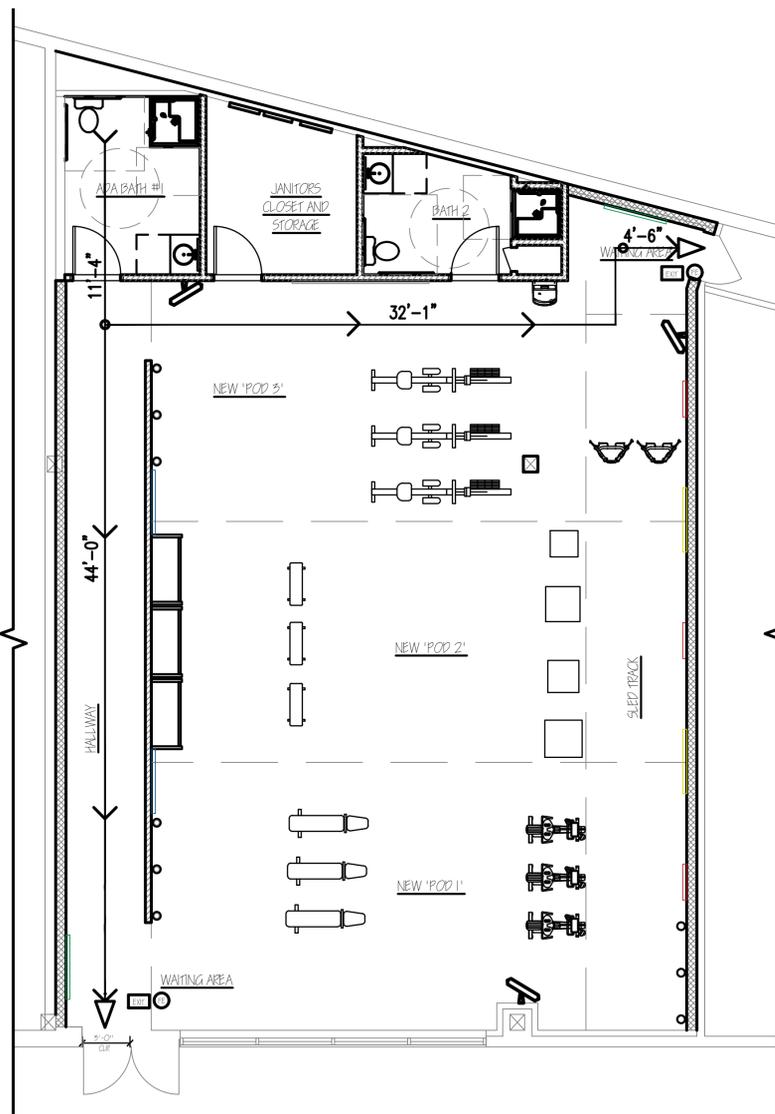
TITLE SHEET

drawn by: JW checked by: GWB
scale: AS NOTED date: 12/05/19
project number: 19-140

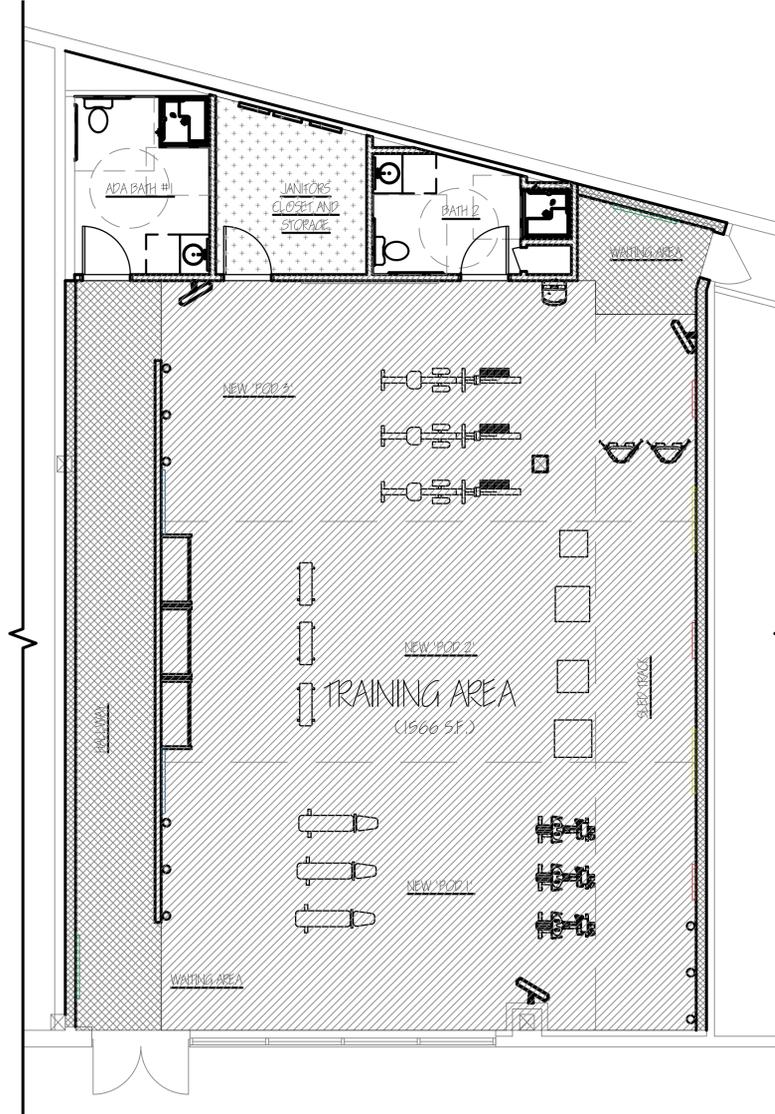


120 WEST PARK AVE. STE 304
LONG BEACH, N.Y.
PHONE: (516) 452-5406
FAX: (516) 452-5148

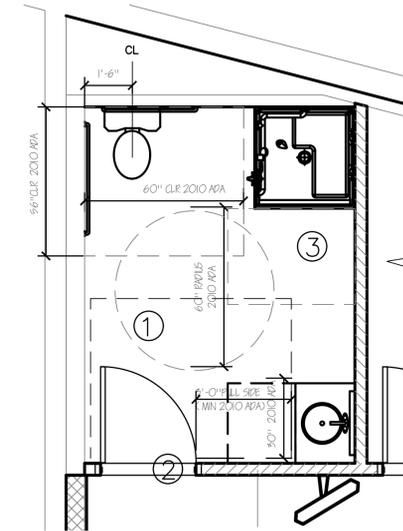
T-1



1 F45 EGRESS PLAN
SCALE: 3/16"=1'-0"



2 F45 OCCUPANCY PLAN
SCALE: 3/16"=1'-0"



3 ENLARGED ADA RESTROOM PLAN
SCALE: 1/2"=1'-0"

ADA KEYNOTES : # REFERS TO KEYNOTE

1. ADA RESTROOM TO COMPLY WITH ICC A117.1 2010 CODE REQUIREMENTS FOR ALL CLEARANCES, INSTALLATION HEIGHTS AND CLEAR FLOOR SPACE.
2. PUSH SIDE DOOR. PROVIDE CLOSER AND LATCH HARDWARE AS PER ADA ICC A117.1 404.2.3.5.
3. ADA SHOWER

OCCUPANCY CALCULATIONS	
AREA	YIELD
POD #1, #2, #3, SLED TRACKS = 1633 SF. / 50 SF. PER OCCUPANT = 32.6 (NOTE: * 27 PP MAXIMUM F45 LIMITATIONS)	27
WAITING = 300 SF. / 100 SQ. FT PER OCCUPANT = 3	3
STORAGE = 92 SF. / 300 SF. PER OCCUPANT = 31	1
TOTAL EMPLOYEES =	2
TOTAL # OF OCCUPANTS	33

LEGEND	
	STORAGE 95 SF.
	BATHROOM 180 SF.
	WAITING AREA 290 SF.
	EXERCISE AREA 1566 SF.

NO.	ISSUED FOR SITE PLAN APPROVAL	JDW	02/10/20
	REVISION/ ISSUED	BY:	DATE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS OR ALTERATIONS BY OTHERS IS PROHIBITED.

INTERIOR RENOVATION:
F 45 GLEN COVE

95 SCHOOL ST.
GLEN COVE, NY 11542

PROPOSED EGRESS & OCCUPANCY PLAN, ADA PLAN

drawn by: JW checked by: GWB
scale: AS NOTED date: 12/05/19
project number: 19-140



LEGEND	
	MAIN EVACUATION ROUTE
	FIRE EXTINGUISHER
	EXIT LIGHT

BUILDING ASSEMBLIES

- A Roof Systems**
 - A1 - Existing Roof with new 2x2 ACT and Grid
 - Existing Flat Roof system
 - Existing Structure
 - Existing Closed Cell Spray Foam Insulation
 - Existing Plenum Space
- B Ceiling System**
 - B1 - Existing Ceiling with new 2x2 ACT and Grid
 - Existing Structure
 - Existing Insulation
 - Existing Plenum Space
 - Proposed new Acoustical Ceiling Tile and Grid - Armstrong Ultima and Armstrong Prelude ML Exposed Tee
 - B1A - New Ceiling Tile with exist. 2x2 Grid
 - Existing Structure
 - Existing Insulation
 - Existing Plenum Space
 - Existing 2x2 Grid - Painted white - Reference F-45 Pantone chart
 - Proposed new Acoustical Ceiling Tile - Armstrong Ultima and Armstrong Prelude ML Exposed Tee
 - B2 - Existing Ceiling with new 2x2x ACT (for wet areas) and Grid
 - Existing Structure
 - Existing Open Cell Spray Foam Insulation (for sound)
 - Existing Plenum Space
 - Proposed new Acoustical Ceiling Tile and Grid - Armstrong Ultima Health Zone rated for wet areas at bathroom/shower and Armstrong Prelude ML Exposed Tee
- C Floor System**
 - C1 - First Floor system - Existing Concrete with porcelain tile
 - Existing P.C. Slab
 - New Porcelain Tile by Daltile
 - Industrial Park Colorbody Porcelain
 - Color: Charcoal Black
 - Size: 24" x 24"
 - Installed per MFR details
 - C2 - First Floor system - Existing Concrete w/ rubber
 - Existing P.C. Slab
 - New Rubber flooring supplied by owner
 - C3 - First Floor system - Existing Concrete w/ turf
 - Existing P.C. Slab
 - New Turf flooring supplied by owner
- D Wall System**
 - D1 - See detail (STC - 56)
 - existing partition
 - 5/8" gyp bd
 - Acoustical panel 4" 16 ga metal Stud wall @ 16" o.c.
 - Staggered on 2 x 6 top and bottom plate
 - Denim insulation
 - Acoustical panel
 - 5/8" gyp bd
 - D2 - Existing storefront partition - V.I.F. (coordinate with owner work)
 - Existing header
 - Existing Insulation
 - Existing Insulation
 - D3 - Existing partition - V.I.F. (coordinate with owner work)
 - 5/8" gyp bd.
 - Existing 6" metal stud partition
 - 5/8" gyp bd.
 - New shower surround in wet areas.
 - D4 - New partition
 - 5/8" gyp bd
 - Shower surround in wet areas
 - New 18 ga. 6" metal studs @ 16" o.c.
 - 5/8" gyp bd.
 - Shower surround in wet areas
 - D5 - New partition
 - New 5/8" gyp bd
 - New 3-5/8" metal studs @ 16" o.c.
 - New 5/8" gyp bd.

CONSTRUCTION GENERAL NOTES:

1. REFER TO T-1 FOR ADDITIONAL INFORMATION AND LEGENDS.
2. WHERE NEW CONSTRUCTION ALIGNS WITH EXISTING CONSTRUCTION, ALIGN STUD TRACK WITH EXISTING FINISHED SURFACE AND APPLY A CONTINUOUS NEW LAYER OF GYPSUM BOARD OVER FACE OF EXISTING CONSTRUCTION. THIS NOTE DOES NOT APPLY TO BUILDING CORE PARTITIONS.
3. EXISTING DOORS AND FRAMES TO REMAIN SHALL BE SANDED SMOOTH FILLED WITH APPROPRIATE FILLER WHERE REQUIRED, RE-SANDED SMOOTH AND PRIMED FOR PAINTING. REMOVE ALL EXISTING SIGNAGE PRIOR TO PREPARATION AND PAINTING OF DOORS. SAVE SIGNAGE FOR RE-USE.
4. CONTRACTOR SHALL NOTIFY ARCHITECT UPON COMPLETION OF PARTITION LAYOUT CHALK LINES. NO STUDS OR TRACK SHALL BE INSTALLED WITHOUT THE APPROVAL OF THE ARCHITECT.
5. AS PART OF THIS CONTRACT, GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OPEN AND CLOSE ALL EXISTING CONSTRUCTION WITHIN AND OUTSIDE OF THE IMMEDIATE PROJECT SCOPE WHERE REQUIRED IN ORDER TO COMPLETE THE SPECIFIED WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO ELECTRICAL CIRCUITING AND ROUTING, PLUMBING LINES, SPRINKLER LINE, HVAC DUCTWORK AND CONTROLS, ETC.
6. ALL BUILDING PARTITIONS THAT ABUT AN EXTERIOR PERIMETER BUILDING MULLION SHALL TERMINATE WITH A "J" BEAD. DO NOT ATTACH TAPE, AND SPACKLE GYPSUM BOARD PARTITION TO PERIMETER MULLIONS.
7. ALL PARTITIONS THAT ABUT THE BUILDING CORE WALLS SHALL BE TERMINATED WITH A FULL RUBBER GASKET. DO NOT SECURE STUD FOR GYPSUM BOARD TO CORE WALLS.
8. BOTTOM TRACK OF ALL PARTITIONS TO BE CALKED TO SLAB FOR SOUND RATING.
9. CONTRACTOR SHALL FIRE STOP DUCT, PIPE, AND ALL SLAB PENETRATIONS, FLOOR AND CEILING, NEW AND EXISTING WITH APPROVED MATERIAL TO PROVIDE 2 HOUR FIRE RATING. SEE ENGINEERING DRAWINGS FOR LOCATIONS OF NEW PENETRATIONS.
10. CONTRACTOR SHALL FIRE STOP ALL WALL PENETRATION THROUGH CORE WALLS AND SHAFTS, NEW AND EXISTING WITH APPROVED MATERIAL TO PROVIDE 2 HOUR FIRE RATING. SEE ENGINEERS DRAWINGS FOR LOCATIONS OF NEW PENETRATIONS.
11. PROVIDE PROPER BLOCKING IN STUD WALLS WHERE FIXTURES, DEVICES, OR EQUIPMENT ARE TO BE MOUNTED. ALL WOOD BLOCKING TO BE FIRE RESISTANT TREATED. COORDINATE WITH ARCHITECT, AND COMPLY WITH ADA LAW.
12. VERIFY ALL DIMENSIONS, BOTH HORIZONTAL AND VERTICAL, PRIOR TO CONSTRUCTION IN ALL AREAS OF PROJECT. NOTIFY ARCHITECT IF ANY DISCREPANCIES SHOULD OCCUR.
13. CONTRACTOR TO COORDINATE EQUIPMENT REQUIREMENTS WITH CLIENT'S VENDOR.

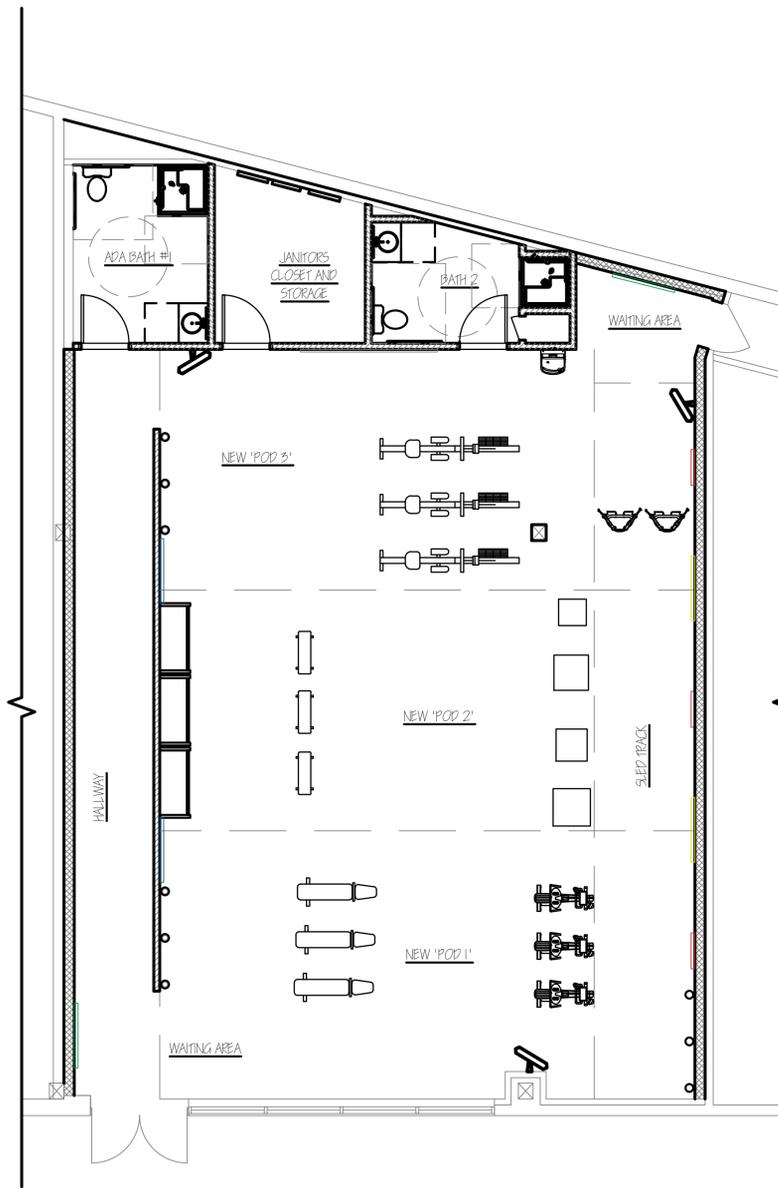
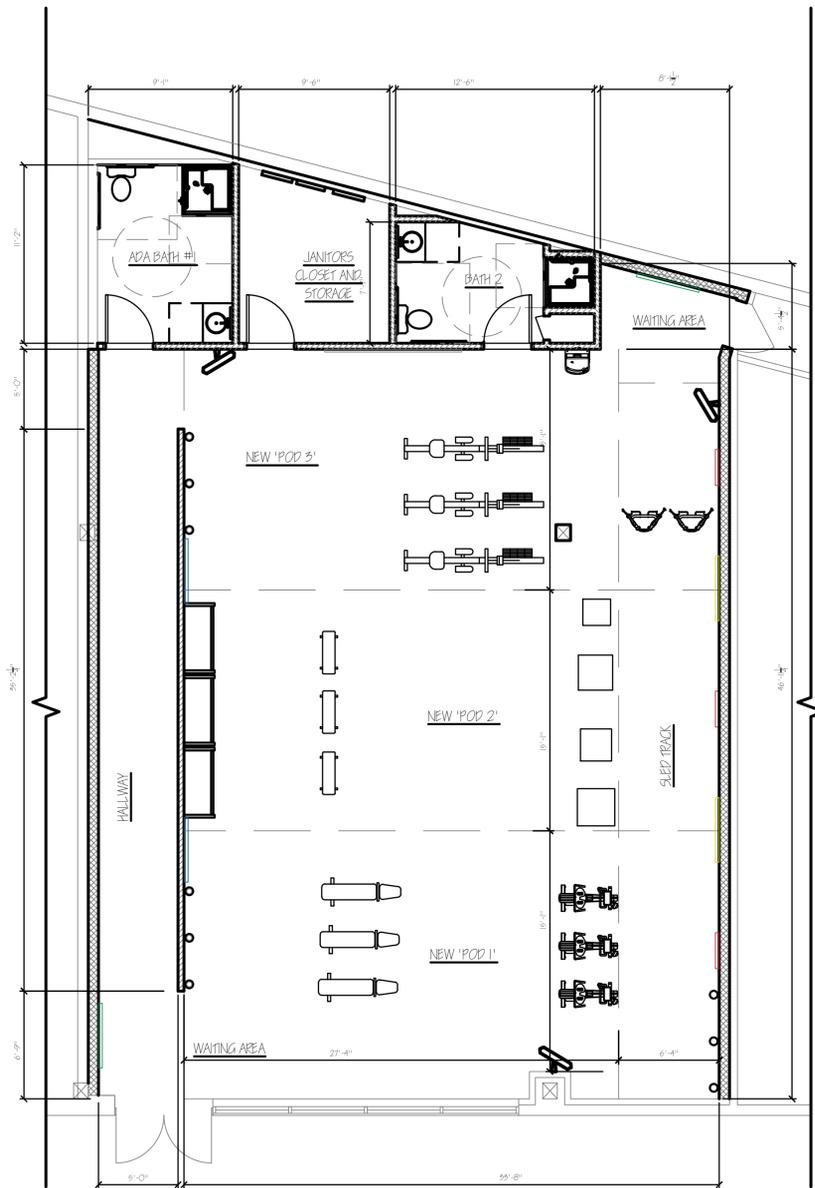
CONSTRUCTION KEYNOTES: # REFERS TO KEYNOTE

- 1. CONTRACTOR TO COORDINATE ALL FINISH MATERIALS WITH TENANT AND SOUND & VIBRATION CONSULTANT.
- 2. ALL ANCHOR POINTS SHOULD BE SPACED 35" APART. WALL ANCHOR POINTS SHOULD BE INSTALLED 65" ABOVE THE FLOOR ANCHOR POINTS. REFER TO F45 STANDARDS FOR MORE INFORMATION.
- 3. CHIN UP BARS, REINFORCE STUDS TO SUPPORT CHIN UP BARS. SEE CUT SHEET (CHIN UP BARS MOUNTED @ MIN. 84" AFF.)
- 4. NEW CLEAR SPACE FOR SLED TRACK
- 5. SCHLUTER STRIP TRANSITION AT CHANGE IN FLOOR MATERIAL
- 6. EXISTING SCOREFRONT SYSTEM TO REMAIN
- 7. NEW POWDER COATED METAL TOILET PARTITION BY METAPAR OR SIMILAR. WHITE
- 8. PITCH CONCRETE FLOORING IN SHOWER AREA TOWARDS DRAIN. FORM AREA WITH NEW DECO SCHLUTER STRIP - FLUSH OR SIMILAR
- 9. TAPER FLOORING DOWN TO MEET THRESHOLD AT FRONT DOOR
- 10. FLOOR ANCHOR POINTS ONLY AT THIS LOCATION, SPACED 35" APART. REFER TO F45 STANDARDS FOR MORE INFORMATION.

FINISH SCHEDULE

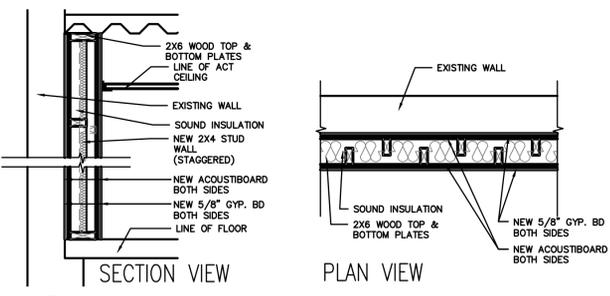
** NOTE: REFER TO F45 GUIDELINES FOR ALL COLORS, MOUNTING LOCATIONS AND DETAILS

NUMBER	DESCRIPTION
F-1	RUBBER FLOORING (REF F-45 MATERIAL REQUIREMENTS)
F-2	TURF FLOORING (REF F-45 MATERIAL REQUIREMENTS)
F-3	PORCELAIN TILE FLOORING (REF F-45 MATERIAL REQUIREMENTS)
W-1	WALL, PAINTED WHITE, DULUX SILK SOGY 68/014/WHITE ON WHITE SW (REF F-45 PANTONE CHART)
EC-1	ACOUSTICAL CEILING TILES. SEE SHEET A-3 FOR MORE INFO
FT-1	SCHLUTER STRIP FLOOR TRANSITION
FT-2	SCHLUTER STRIP FLOOR TRANSITION
FT-3	SCHLUTER STRIP FLOOR TRANSITION
FT-4	SCHLUTER STRIP FLOOR TRANSITION



1 F45 NEW WORK PLAN
SCALE: 3/16"=1'-0"

2 F45 FINISH SCHEDULE
SCALE: 3/16"=1'-0"



D1 ACOUSTICAL WALL DETAIL
SCALE: 3/16"=1'-0"

NOTE:
ALL FINISHES, MATERIALS, COLORS TO CONFORM TO F-45 STUDIO REQUIREMENTS - SEE 'F45 GLOBAL SIGNAGE REQUIREMENTS' DOC FOR FURTHER INFORMATION

ISSUED FOR SITE PLAN APPROVAL	JDW	02/10/20
NO. REVISION/ISSUED	BY:	DATE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS OR ALTERATIONS BY OTHERS IS PROHIBITED.

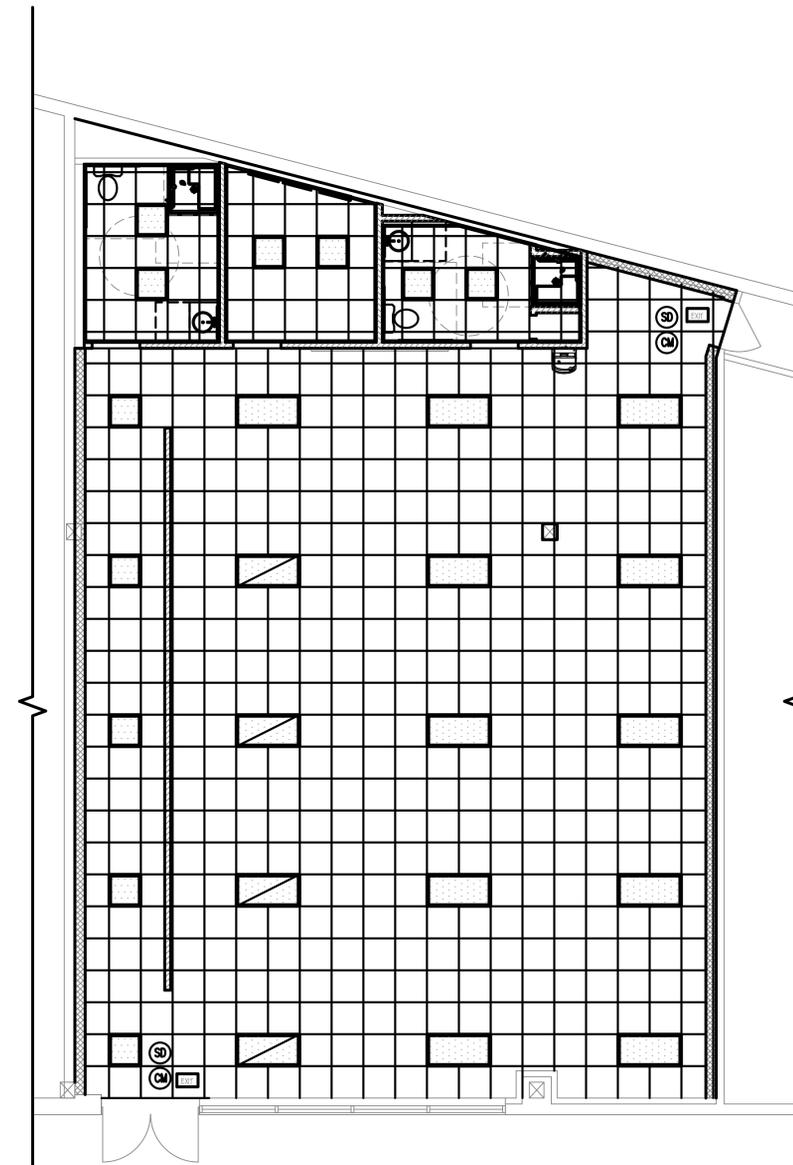
INTERIOR RENOVATION:
F 45 GLEN COVE
95 SCHOOL ST.
GLEN COVE, NY 11542

PROPOSED NEW WORK PLAN AND FINISH PLAN

drawn by: JW checked by: GWB
scale: AS NOTED date: 12/05/19
project number: 19-140

GWB ARCHITECT P.C.
120 WEST PARK AVE. STE 304
LONG BEACH, N.Y.
PHONE: (516) 492-2406
FAX: (516) 492-2448

A-2



1 REFLECTED CEILING PLAN
SCALE: 3/16"=1'-0"

LIGHTING SCHEDULE & SYMBOL LIST				
SYMBOL	SIZE	MANUFACTURER	MODEL	REMARKS
	2x2	DAYBRITE	2x2 LED FLAT PANEL RECESSED	CFI RECESSED LUX COORDINATE W OWNER PRIOR TO INSTALL
	2x2	DAYBRITE	2x2 LED FLAT PANEL RECESSED - EMERGENCY FIXTURE	CFI RECESSED LUX COORDINATE W OWNER PRIOR TO INSTALL
	10"	LIGHTOLIER	10" ROUND LED SURFACE MOUNTED FIXTURE	LED DOWNLIGHT SURFACE MOUNTED (CEILING)
	9x9	NUTONE OR SIM	EXHAUST FAN/LIGHT FIXTURE SURFACE MOUNTED FIXTURE	INSTALL IN WET AREAS WITH SHOWER
	LED EXT	LITHONIA	LED SW EXIT LIGHT	EXIT LIGHT INSTALLED AS NOTED
	-	LITHONIA OR SIM.	-	NEW SMOKE DETECTOR
	-	LITHONIA OR SIM.	-	NEW CARBON MONOXIDE DETECTOR

CEILING SCHEDULE & SYMBOL LIST				
SYMBOL / DIM. ZONE	SIZE	MANUFACTURER	MODEL	REMARKS
	2x2	ARMSTRONG	ULTIMA HIGH NRC WITH PRELUDE ML EXPOSED TEE	NEW 2X2 ACOUSTICAL CEILING TILE AND GRID - OR APPROVED EQ. COORDINATE WITH OWNER
	2x2	ARMSTRONG	ULTIMA HEALTH ZONE HIGH NRC WITH PRELUDE ML EXPOSED TEE	NEW 2X2 ACOUSTICAL CEILING TILE "RATED FOR WET AREAS" AND GRID - OR APPROVED EQ. COORDINATE WITH OWNER

CEILING NOTES:

- REFER TO T-1 FOR ADDITIONAL INFORMATION AND LEGENDS.
- ALL EXISTING CEILING GRIDS TO REMAIN SHALL BE PAINTED WHITE TO MATCH NEW WALLS. REFER TO F45 HANDBOOK FOR SPECIFICATIONS
- ALL NEW CEILING GRIDS TO BE WHITE TO MATCH NEW WALLS. REFER TO F45 HANDBOOK FOR SPECIFICATIONS
- REFER TO CEILING SCHEDULE FOR INFORMATION ON NEW ACOUSTICAL CEILING TILE
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT THE LIGHT FIXTURE TRIM SPECIFIED IS COMPATIBLE WITH CEILING CONSTRUCTION SPECIFIED.
- COORDINATE AND FIELD VERIFY ALL CEILING STARTING POINTS WITH ARCHITECT.
- MULTIPLE ADJACENT SWITCHES SHALL BE MOUNTED IN A SINGLE MULTI-GANG BOX AND BE COVERED WITH A SINGLE CONTINUOUS FACEPLATE. WHERE AN ADDITIONAL SWITCH IS ADDED TO AN EXISTING SWITCH LOCATION, REMOVE EXISTING SWITCHES AND PROVIDE A NEW SINGLE FACEPLATE.
- CEILING SYSTEM AND SPECIFICATIONS MUST BE INSTALLED AS NOTED. ANY CHANGES MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE ALL NECESSARY HANGERS & CLIPS FOR PROPER LIGHT FIXTURE INSTALLATION.

DEVICE / SYSTEM NOTES

REFERS TO KEYNOTE

- NEW SUSPENDED ACOUSTICAL CEILING TILE AND GRID
- CONTRACTOR TO COORDINATE ALL FIRE ALARM DEVICES AND LOCATIONS WITH FIRE ALARM CONTRACTOR. ADJUST LAYOUT AS NECESSARY FOR CODE COMPLIANCE.
- COORDINATE ALL HVAC DEVICES WITH CONTRACTOR AS REQUIRED.
- CONTRACTOR TO COORDINATE ALL SPRINKLER LOCATIONS AND AMOUNTS WITH SPRINKLER CONTRACTOR. ADJUST LAYOUT AS NECESSARY FOR CODE COMPLIANCE.
- COORDINATE EXTERIOR LIGHTING WITH TENANT, GC & ELECTRICAL SUBCONTRACTOR
- SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
-
- EXISTING GRID WITH NEW TILE

ISSUED FOR SITE PLAN APPROVAL	JDW	02/10/20
NO. REVISION / ISSUED	BY:	DATE

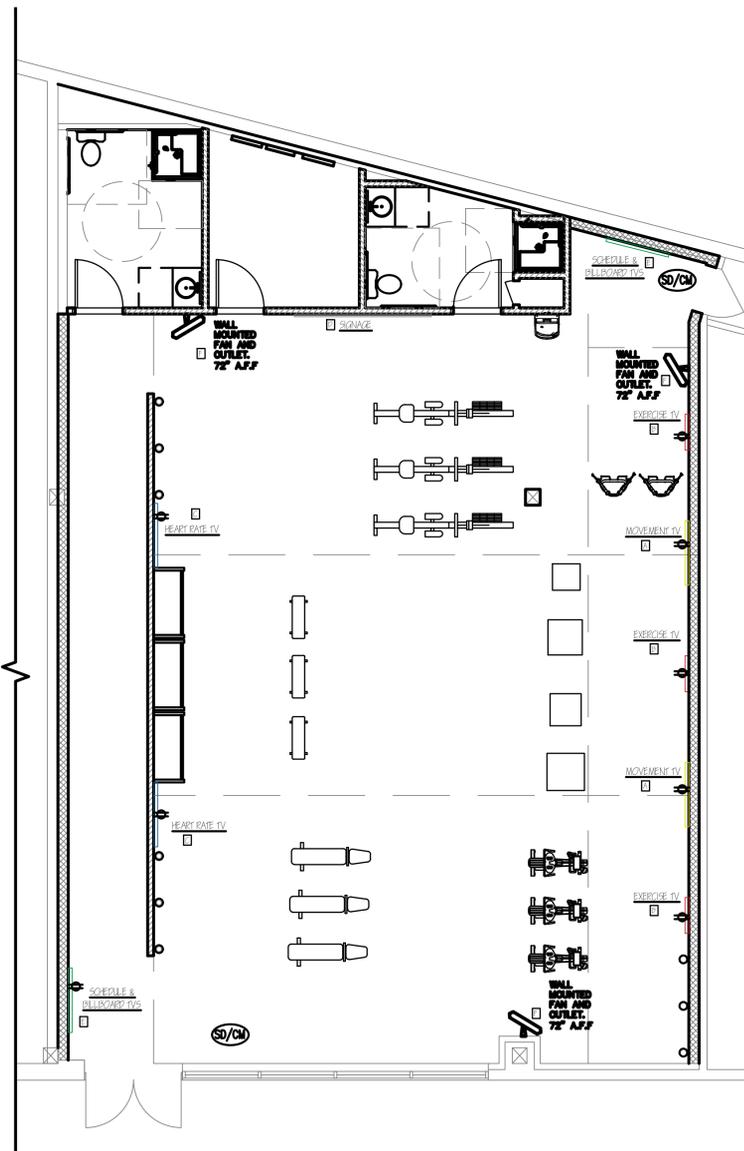
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS OR ALTERATIONS BY OTHERS IS PROHIBITED.

INTERIOR RENOVATION:
F 45 GLEN COVE
95 SCHOOL ST.
GLEN COVE, NY 11542

PROPOSED REFLECTED CEILING PLAN

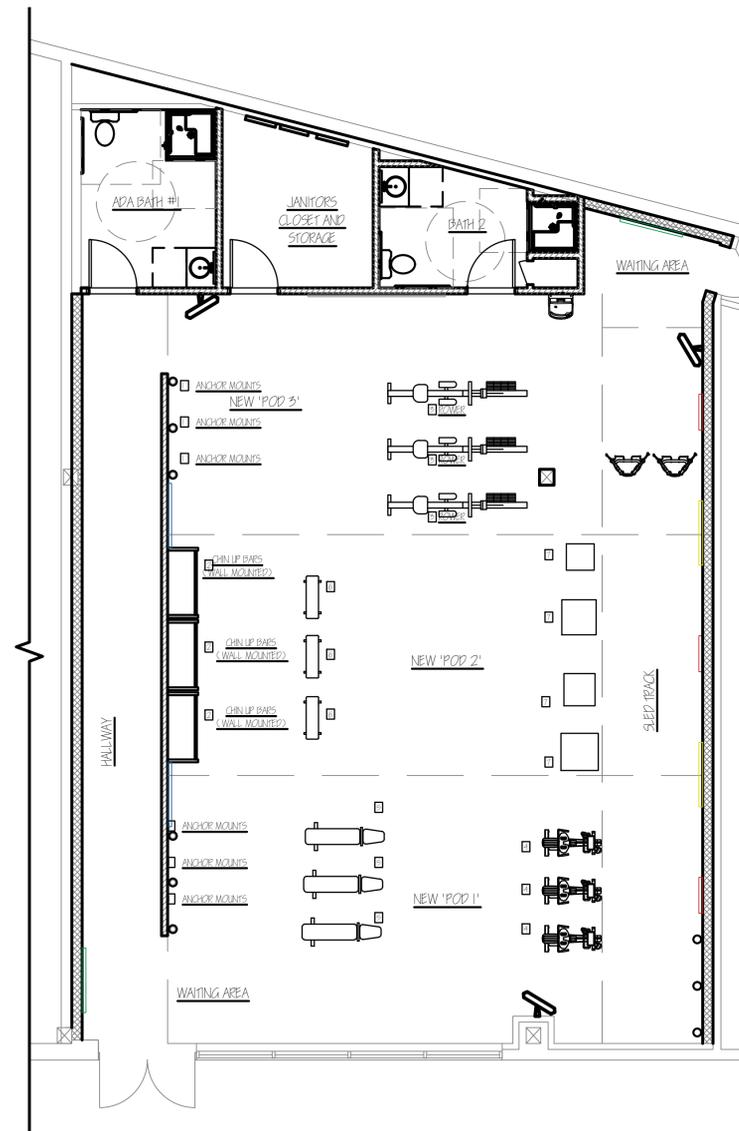
drawn by: JW checked by: GWB
scale: AS NOTED date: 12/05/19
project number: 19-140

A-3



1 TELE/DATA/ELEC PLAN
SCALE: 3/16"=1'-0"
N

TDE EQUIPMENT LIST	
LETTER	DESCRIPTION
A	MOVEMENT TV
B	EXERCISE TV
C	HEART RATE TV
D	SIGNAGE
E	SCHEDULE & BILLBOARD TVS
F	WALL MOUNTED FANS



2 EQUIPMENT & FURNITURE PLAN
SCALE: 3/16"=1'-0"
N

STUDIO EQUIPMENT/FURN	
NUMBER	DESCRIPTION
1	ANCHOR MOUNTS
2	CHIN UP BARS - WALL MOUNTED
3	ROWER
4	F-45 BIKES
5	ADJUSTABLE BENCHES
6	STEP TRAINER
7	BOXES
8	ANCHOR MOUNTS - FLOOR ONLY

ADA FIXTURES	
** NOTE: REFER TO ICC A117.2010 FOR MOUNTING HEIGHTS	
NUMBER	DESCRIPTION
P-1	ADA WATERCLOSET
P-2	ADA LAV
P-3	SHOWER
P-4	ADA GRAB BAR
P-5	ADA TP HOLDER
P-6	ADA MIRROR
P-7	ADA WATER FOUNTAIN WITH VERTICAL BOTTLE FILLING STATION

ISSUED FOR SITE PLAN APPROVAL	JDW	02/10/20
NO. REVISION/ISSUED	BY:	DATE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS OR ALTERATIONS BY OTHERS IS PROHIBITED.

INTERIOR RENOVATION:
F 45 GLEN COVE
95 SCHOOL ST.
GLEN COVE, NY 11542

EQUIPMENT/FURNITURE PLAN & TELE/DATA/ELEC PLAN

drawn by: JW checked by: GWB
scale: AS NOTED date: 12/05/19
project number: 19-140

A-4

BUILDING ASSEMBLIES

A Roof Systems

- A1 - Existing Roof with new 2x2 ACT and Grid
- Existing Flat Roof system
- Existing Structure
- Existing Closed Cell Spray Foam Insulation
- Existing Plenum Space

B Ceiling System

- B1 - Existing Ceiling with new 2x2 ACT and Grid
- Existing Structure
- Existing Insulation
- Existing Plenum Space
- Proposed new Acoustical Ceiling Tile and Grid - Armstrong Ultima and Armstrong Pretulde ML Exposed Tee

- B1A - New Ceiling Tile with exist. 2x2 Grid
- Existing Structure
- Existing Insulation
- Existing Plenum Space
- Existing 2x2 Grid - Painted white - Reference F-45 Pantone chart
- Proposed new Acoustical Ceiling Tile - Armstrong Ultima and Armstrong Pretulde ML Exposed Tee

- B2 - Existing Ceiling with new 2x2x ACT (for wet areas) and Grid
- Existing Structure
- Existing Open Cell Spray Foam Insulation (for sound)
- Existing Plenum Space
- Proposed new Acoustical Ceiling Tile and Grid - Armstrong Ultima Health Zone rated for wet areas at bathroom/shower and Armstrong Pretulde ML Exposed Tee

C Floor System

- C1 - First Floor system - Existing Concrete with porcelain tile
- Existing P.C. Slab
- New Porcelain Tile by Daltile
- Industrial Park Colorbody Porcelain
- Color: Charcoal Black
- Size: 24" x 24"
- Installed per MFR details

- C2 - First Floor system - Existing Concrete w/ rubber
- Existing P.C. Slab
- New Rubber flooring supplied by owner

- C3 - First Floor system - Existing Concrete w/ turf
- Existing P.C. Slab
- New Turf flooring supplied by owner

D Wall System

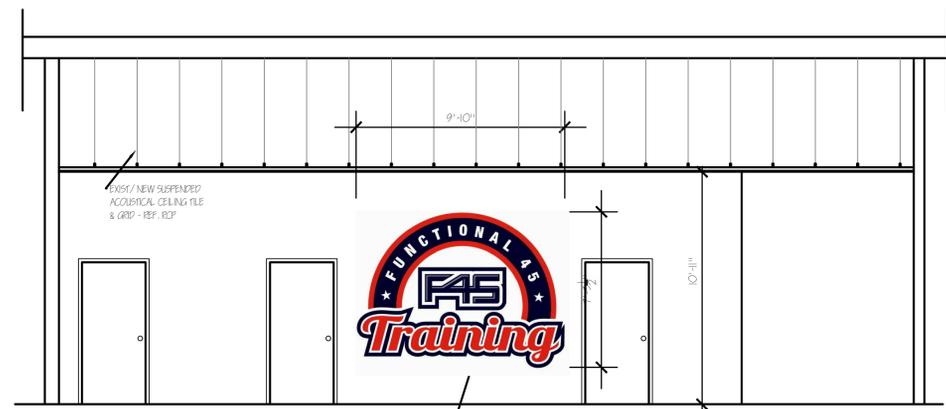
- D1 - See detail (STC - 56) existing partition
- 5/8" gyp bd
- Acoustical panel 4" 16 ga metal Stud wall @ 16" o.c.
- Slaggered on 2 x top and bottom plate
- Denim insulation
- Acoustical panel
- 5/8" gyp bd

- D2 - Existing storefront partition - V.I.F. (coordinate with owner work)
- Existing header
- Existing Insulation
- Existing Insulation

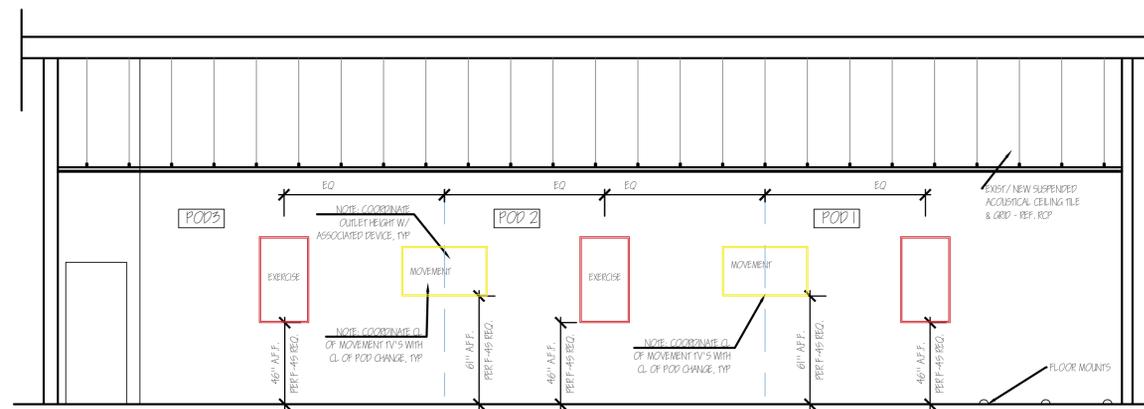
- D3 - Existing partition - V.I.F. (coordinate with owner work)
- 5/8" gyp bd
- Existing 6" metal stud partition
- 5/8" gyp bd
- New shower surround in wet areas.

- D4 - New partition
- 5/8" gyp bd
- Shower surround in wet areas
- New 18 ga. 6" metal studs @ 16" o.c.
- 5/8" gyp bd.
- Shower surround in wet areas

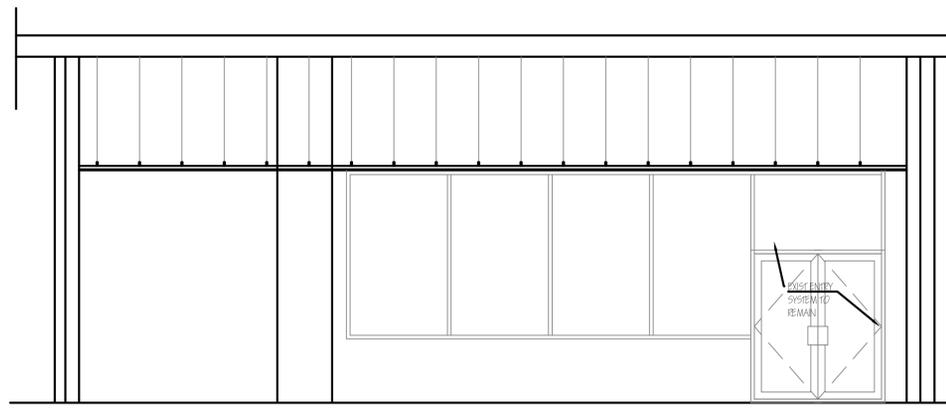
- D5 - New partition
- New 5/8" gyp bd
- New 3-5/8" metal studs @ 16" o.c.
- New 5/8" gyp bd.



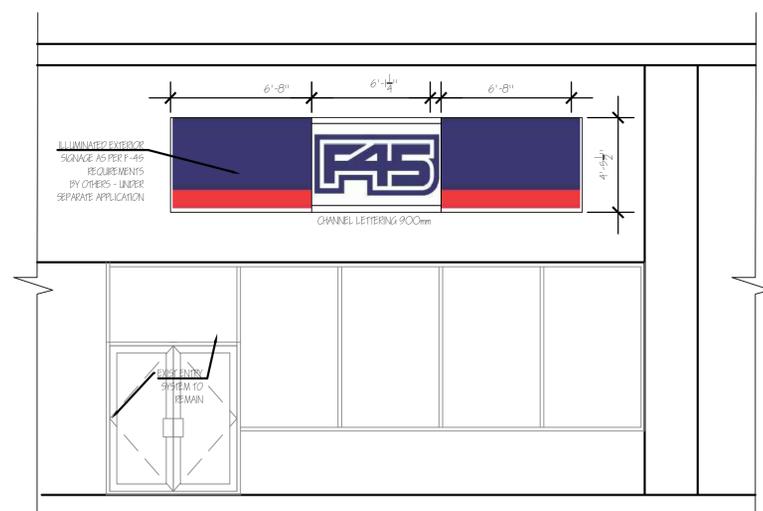
1 BUILDING SECTION
SCALE: 1/4"=1'-0"



2 BUILDING SECTION/ELEVATION
SCALE: 1/4"=1'-0"



3 BUILDING SECTION/ELEVATION
SCALE: 1/4"=1'-0"



4 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

ISSUED FOR SITE PLAN APPROVAL	JDW	02/10/20
NO. REVISION/ISSUED	BY:	DATE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS OR ALTERATIONS BY OTHERS IS PROHIBITED.

INTERIOR RENOVATION:
F 45 GLEN COVE
95 SCHOOL ST.
GLEN COVE, NY 11542

PROPOSED ELEVATIONS/SECTIONS

drawn by: JW checked by: GWB
scale: AS NOTED date: 12/05/19
project number: 19-140



A-5