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City of Glen Cove Site Plan Review Requirements

- (1) A location map showing the applicant's entire property and adjacent properties and streets at a convenient scale.
- (2) The proposed location, use and architectural design of all buildings and structures.
- (3) Any proposed division of buildings into units of separate occupancy.
- (4) Existing topography and proposed grade elevations.
- (5) The location of all existing and proposed parking and truck loading areas, with access and egress drives thereto.
- (6) The location of outdoor storage, if any.
- (7) The location and design of all existing and proposed site improvements, including pavement, walks, curbing, drains, culverts, retaining walls and fences.
- (8) A description of the method of sewage disposal and location of such facilities.
- (9) The location, size and design of all signs.
- (10) The location and proposed development of landscaping and buffer screening areas.
- (11) The location, design and proposed hours of operation of lighting facilities.
- (12) The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- (13) A signature block for Planning Board endorsement of approval.
- (14) Any other pertinent information required by the Planning Board which is reasonably related to the health, safety and general welfare of the community.

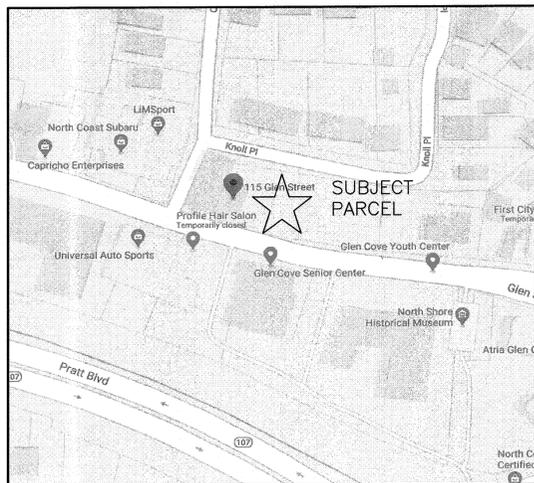
NASSAU COUNTY DPW 239F NOTES

- Note: All work within the Nassau County Right-of-Way shall Conform To 2009 County of Nassau Department of Public Works Standard Specifications and Detail Sheets for Civil Engineering and Site Development Construction.
- Note: County Permit is required to construct curbs/sidewalks
- Note: Replace all non-approved curb cuts with Standard County Curb (Type C), repair all depressed, cracked or missing sidewalks, curb(s) and all non ADA compliant ramps
- Note: Refurbish all Pavement Markings that have been removed/damaged during construction, (including but not limited to edge lines, hatching, etc.) according to Nassau County Specifications
- Note: Use of Regulatory Signs and/or Turn Restrictions and/or Parking restrictions on Site Plans shall be placed/installed according to the latest "National Manual on Uniform Traffic Control Devices" (MUTCD) and the "New York State Supplement," and the applicant shall have these signs ordinated by the respective Town/Village/City
- Note: If Nassau County has signs that have been removed/damaged during construction, (including but not limited to regulatory signs, warnings signs, etc.) they shall be installed/replaced according to Nassau County Specifications
- Note: If any Nassau County traffic equipment at the location, (including but not limited to traffic signals, pedestrian signal equipment, traffic loop detection, traffic pullboxes, traffic signal system interconnect, street lighting etc.) is damaged in any way during construction, it shall be repaired/replaced according to Nassau County Specification. All work shall be performed by a Nassau County Approved Traffic Signal Contractor. The Contractor shall notify Sheila M. Dukacz of the Nassau County Traffic Signal Construction & Operations Unit at 516-572-0465 ext. 20958 before any work begins
- Note: The contractor shall regrade any Nassau County traffic signal or street light pullbox covers in the work area using suitable brick and mortar. The Contractor shall leave the inside bottom of all pullboxes clean and free of debris left from his operations. The tops of the covers shall be left clean and free of concrete. If any pullbox work is required, the Contractor must notify Sheila M. Dukacz of the Nassau County Traffic Signal Construction & Operations Unit at 516-572-0465 ext. 20958 in advance of work
- Note: Prior to construction, a mark-out shall be made for all underground utilities, including but not limited to underground traffic signal equipment
- Note: Prior to any scheduled lane closures, the contractor must complete and submit an Online road/lane closure notification form by 3:00 PM the evening prior to the Scheduled closure. The contractor can complete the form at www.nassaucountyny.gov/trafficmanagement. Or by faxing the completed form to the Traffic Management Center at 516-571-6882.

PROPOSED CONSTRUCTION OF 3 STORY MIXED USE BUILDING

(4) Studio Apartments
(10) 1 Bedroom Apartments
(2) 2 Bedroom Apartments

Retail Space
Office Space
115 Glen Street
Glen Cove, N.Y. 11542



KEY MAP
NOT TO SCALE

Sec. 23 Blk. 11 Lots 6-11 & 134

UTILITY CONTACTS	
WATER:	GLEN COVE WATER DISTRICT 9 GLEN STREET GLEN COVE, NEW YORK, 11542 PHONE: (516) 676-2000
GAS:	NATIONAL GRID 175 E. OLD COUNTRY ROAD ROCKVILLE, NEW YORK 10881 PHONE: 1-800-645-2001
SEWER:	PSEG LONG ISLAND 250 WILLIS AVENUE ROSELIN HEIGHTS, NEW YORK 11577 PHONE: (908) 750-6800
TELEPHONE:	VERIZON 2020 JONES AVENUE VANTAGE, NEW YORK 11793 PHONE: (516) 783-2235
ROADS:	NASSAU COUNTY DPW 104 PROSPECT AVENUE VESTIBURY, NEW YORK 10596 PHONE: (516) 571-6900
SITE PLAN:	CITY OF GLEN COVE BUILDING DEPARTMENT 9 GLEN STREET GLEN COVE, NEW YORK 11542 PHONE: (516) 676-2000

CITY OF GLEN COVE PLANNING BOARD	
CHAIRMAN OF PLANNING BOARD	DATE
	DATE
	DATE
	DATE

CIVIL ENGINEER:
Northcoast Civil
Land Surveyors & Civil Engineers
23 Spring Street
Oyster Bay, NY 11771
516-922-3031

ARCHITECT:
Archangels Inc./James O'Grady Architects, AIA
126 Glen Street
Glen Cove, NY 11542
516-609-2724

APPLICANT:
115 Glen Street Property Owner LLC
14 Skillman Street
Roslyn, NY 11576
516-609-2724

GENERAL NOTES

- DESIGN PROFESSIONALS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ALL FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% OF THE MAXIMUM DENSITY AT THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE MODIFIED PROCTOR TEST.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION.
- ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF GLEN COVE, NASSAU COUNTY OR AS SPECIFIED HEREIN, LATEST EDITIONS.
- PROPOSED ELECTRIC AND TELEPHONE SERVICE LOCATIONS SUBJECT TO PSEG AND VERIZON APPROVAL.
- INSTALLATION OF ELECTRIC AND GAS SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM AS A MINIMUM TO THE REQUIREMENTS OF KEYSpan SPAN.
- INSTALLATION OF TELEPHONE SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS ESSENTIAL FOR MEETING ALL REQUIREMENTS FOR PRE-CONSTRUCTION OF ANY SANITARY SYSTEM FROM ALL GOVERNING AGENCIES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL THE UTILITY OR MUNICIPAL AGENCIES HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE THE REQUIRED UTILITY AND MUNICIPAL INSPECTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY AND FOR THE INSTALLATION OF SIGNS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY TO REMOVE ANY EXCAVATED MATERIALS.
- UNSATURABLE MATERIAL (AS DEFINED IN SECTION 203 OF N.Y.S.D.D.T. STANDARD SPECIFICATIONS EDITION UNDER PAVEMENT, WALKS, AND CONCRETE SLABS OR AS SPECIFIED IN THE SITE WORK SPECIFICATIONS) SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL.
- SELECT GRANULAR MATERIAL SHALL BE AS DEFINED IN SECTION 203 OF THE N.Y.S.D.D.T. STANDARD SPECIFICATIONS.
- COMPACTION SHALL CONFORM TO N.Y.S.D.D.T. SECTION 203.
- ALL CONCRETE CURBING, SIDEWALK, AND DRAINAGE STRUCTURES SHALL CONFORM TO THE CITY OF GLEN COVE PLANNING BOARD STANDARD DETAILS AND SPECIFICATIONS.
- ALL APPLICABLE REGULATORY AGENCIES, INCLUDING BUT NOT LIMITED TO THE NASSAU COUNTY PLANNING COMMISSION AND THE CITY OF GLEN COVE, SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- THE INSTALLATION OF ALL SITE AND HIGHWAY IMPROVEMENTS INCLUDING EXCAVATION, BACKFILL, AND CONNECTION OF THE TRENCHES FOR SANITARY SEWERS AND UTILITIES SHALL BE SUPERVISED BY THE DEVELOPER'S PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW YORK OR A L.S. WITH A "200N CERTIFICATE" WHO SHALL SUBMIT A SIGNED AND SEALED LETTER TO THE CITY OF GLEN COVE, STATING THAT THE IMPROVEMENTS HAVE BEEN INSTALLED TO THE APPLICABLE NEW YORK STATE, NASSAU COUNTY, OR THE CITY OF GLEN COVE SPECIFICATIONS. THE CERTIFICATION SHALL APPLY TO THE PROPOSED ROAD OPENING ON EXISTING STREETS. SAID WORK ON EXISTING STREETS SHALL INCLUDE TRAFFIC MAINTENANCE AND THE PLACEMENT OF TEMPORARY AND FINAL PAVEMENT.
- ELEVATIONS REFER TO NASSAU COUNTY DATUM NAVD'88
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, WITH PRECAST OPENINGS FOR DRAINAGE PIPES) AND SHALL CONFORM TO NASSAU COUNTY STANDARD DETAILS AND SPECIFICATIONS.
- THE BUILDINGS SHALL BE CONNECTED TO THE SANITARY SEWER UNDER THE REQUIRED TOWN AND COUNTY SEWER PERMITS.
- CONSTRUCTION OF APPLICABLE WATER AND SEWAGE FACILITIES IN THE SITE SHALL CONFORM TO PART 74, TITLE 19 AND PART 624, TITLE 6 OF THE OFFICIAL COMPILATION OF CODES, RULES, AND REGULATIONS OF THE STATE OF NEW YORK.
- ACCEPTANCE AND APPROVAL OF WASTE DISPOSAL FACILITIES HEREIN DESCRIBED DOES NOT CONSTITUTE APPROVAL OF THE STRUCTURAL STABILITY BY THE NASSAU COUNTY DEPARTMENT OF HEALTH.
- A PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF NEW YORK, SHALL INSPECT THE CONSTRUCTION OF THE DRAINAGE FACILITIES IN NON-DEDICATED AREAS AND CERTIFY NO LATER THAN 30 DAYS FOLLOWING THE COMPLETION OF CONSTRUCTION, THAT THE DRAINAGE FACILITIES HAVE BEEN CONSTRUCTED IN FULL CONFORMANCE WITH THE APPROVED DRAINAGE PLANS, PROPOSED ELECTRIC AND TELEPHONE SERVICE LOCATIONS SUBJECT TO L.L.P.A. AND VERIZON APPROVAL.
- ROOF LEADERS AND AREA DRAINS SHALL HAVE ACCESSIBLE BACKWASH VALVES CONFORMING TO THE FOLLOWING SECTIONS OF NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE: 903.6A AND 9. BACKFLOW DEVICES, 903.10 CLEANOUTS, TABLE VI-903 SIZING AND 904.6 H.L.J. & K MATERIALS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PARKING LOT LIGHTING POLES, LIGHTING FIXTURE CONFIGURATIONS, AND COLOR SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
- NO SPEED BUMPS ARE PERMITTED.
- ALL ROAD WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF GLEN COVE, NASSAU COUNTY, OR AS SPECIFIED HEREIN, LATEST EDITIONS.
- THE OWNER IS RESPONSIBLE FOR THE NECESSARY TRAFFIC CONTROLS WITHIN THE SITE AND SHALL HAVE A NEW YORK STATE PROFESSIONAL ENGINEER DESIGN AND SUPERVISE THE INSTALLATION OF ALL TRAFFIC CONTROLS CONFORMING TO NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE PROFESSIONAL ENGINEER SHALL SUBMIT SIGNED AND SEALED CERTIFICATION THAT ALL TRAFFIC CONTROL DEVICES ON VILLAGE, TOWN, COUNTY, AND NEW YORK STATE HIGHWAYS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF TRAFFIC CONTROL DEVICES.
- ANY BROKEN OR HAZARDOUS EXISTING SIDEWALK, DRIVEWAY, APRONS, AND CURBING ADJACENT TO AND IN THE SUBJECT SITE SHALL BE REPLACED IN ACCORDANCE WITH CURRENT STANDARDS.
- DURING CONSTRUCTION THE OWNER/APPLICANT IS RESPONSIBLE TO SWEEP ACCESS STREETS AND KEEP THE ROADWAYS FREE OF DIRT AND MUD.
- NO WORK IS TO BE PERFORMED IN THE NEW YORK STATE RIGHT OF WAY UNLESS ALL REQUIRED AND NECESSARY PERMITS HAVE BEEN OBTAINED.



23 SPRING STREET
OYSTER BAY, NY 11771
P: (516) 922-3031 F: (516) 922-7475

CITY OF GLEN COVE
23-11-6-11 & 134

**PROPOSED 3 STORY
MIXED USE BUILDING**
115 GLEN STREET
GLEN COVE, NY 11542



DRAWING INFORMATION

DATE	7/1/2020
DRAWN BY:	HMS
CHECKED BY:	MJR
SCALE:	1"=10'
AREA:	0.552 ACRES 22092.8 SQ. FT.
DATUM:	NAVD'88
REVISION:	
#	DATE/COMMENT

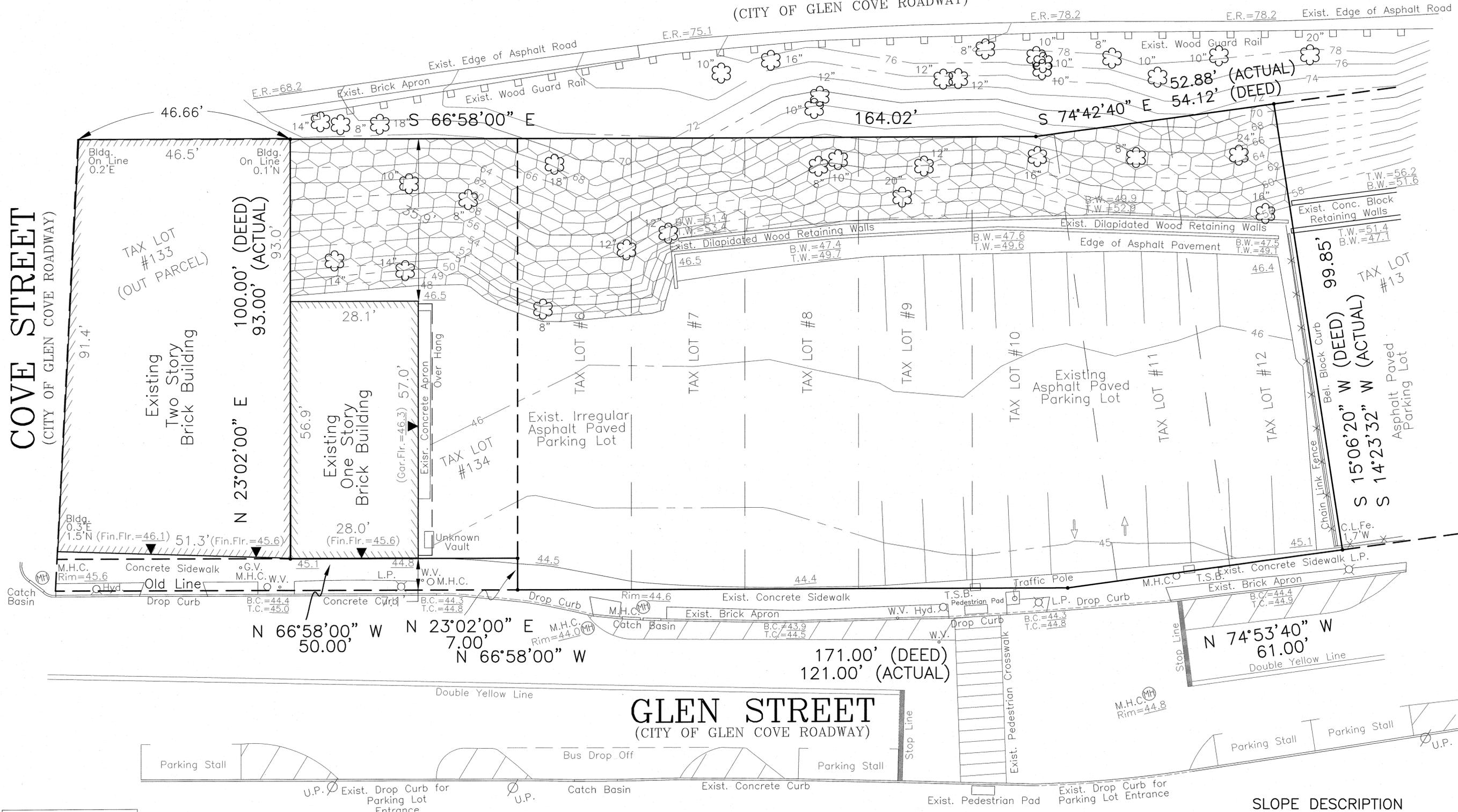
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KNOLL PLACE

(CITY OF GLEN COVE ROADWAY)

COVE STREET

(CITY OF GLEN COVE ROADWAY)



LEGEND	
	C.B. Catch basin
	G.V. Gas valve
	M.H.C. Manhole cover
	Hyd. Hydrant
	L.P. Light pole
	S.I.D. Surface inlet drain
	S.M.H. Sewer manhole
	U.P. Utility pole
	W.M. Water Meter
	W.V. Water valve
	T.S.B. Traffic Signal Box

SLOPE DESCRIPTION	
	Slope Greater Than 35% = 5741.5 SF Lot Area Deduction = 5741.5 SF
	Slope Between 25%-35% = 0 SF Lot Area Deduction = 0 SF
	Slope Between 15%-25% = 0 SF Lot Area Deduction = 0 SF

Northcoast
LAND SURVEYING
CIVIL ENGINEERING
30 SPANIS STREET
OYSTER BAY, NY 11771
P: (516) 922-2031 | F: (516) 922-7475

PROPOSED 3 STORY MIXED USE BUILDING
115 GLEN STREET
GLEN COVE, NY 11542

SITUATED: 23-11-6-11 & 134
NCTM:



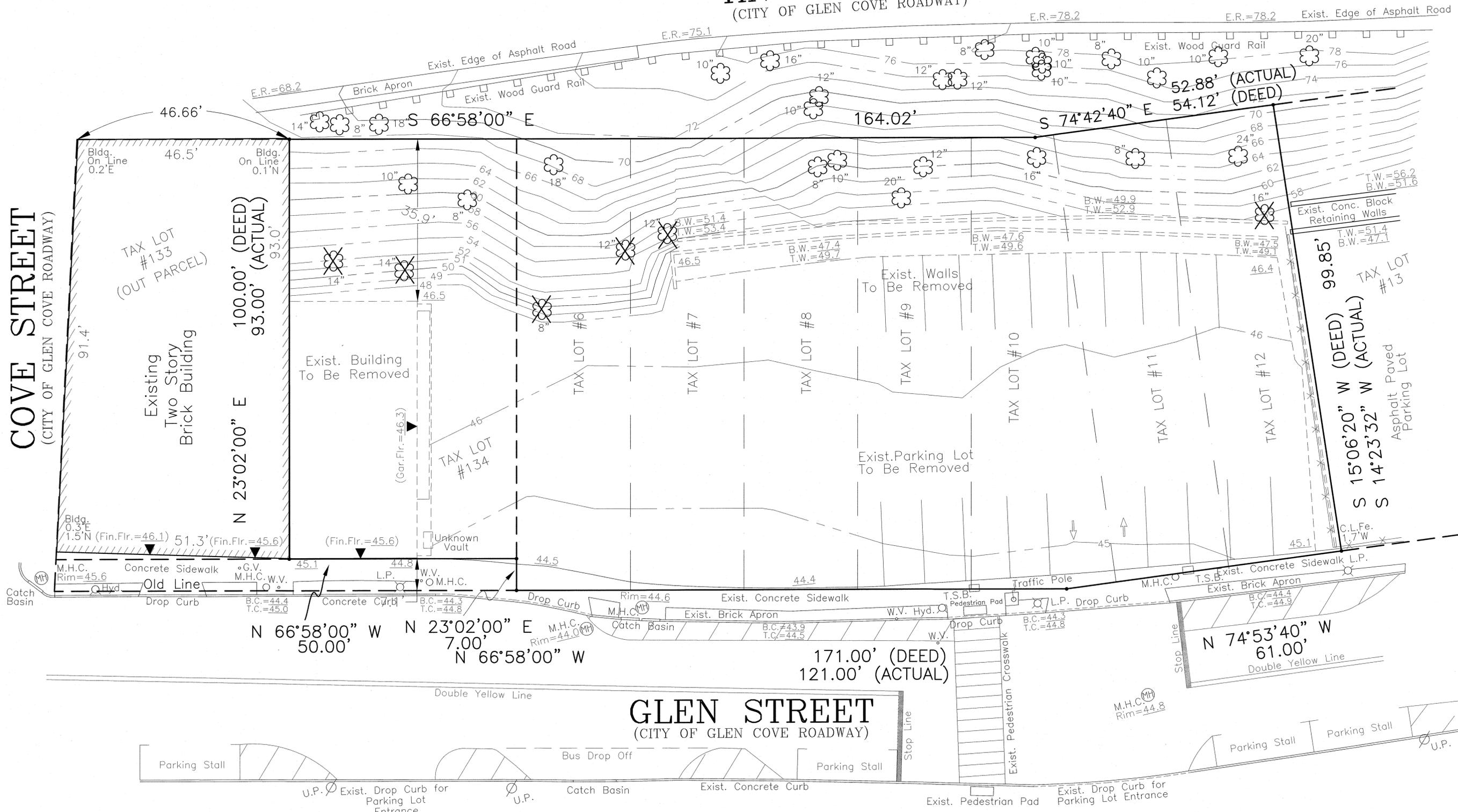
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DRAWN BY:	J.FUSCO
CHECKED BY:	TJB
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AREA:	0.552 ACRES 22092.8 SQ.FT.
DATUM:	NAVD'88
REVISION:	
#	DATE/COMMENT

TITLE
EXISTING SURVEY
SHEET
SP-1

KNOLL PLACE

(CITY OF GLEN COVE ROADWAY)

COVE STREET
(CITY OF GLEN COVE ROADWAY)



PROPOSED 3 STORY MIXED USE BUILDING
115 GLEN STREET
GLEN COVE, NY 11542
PROJECT: CITY OF GLEN COVE
23-11-6-11 & 134



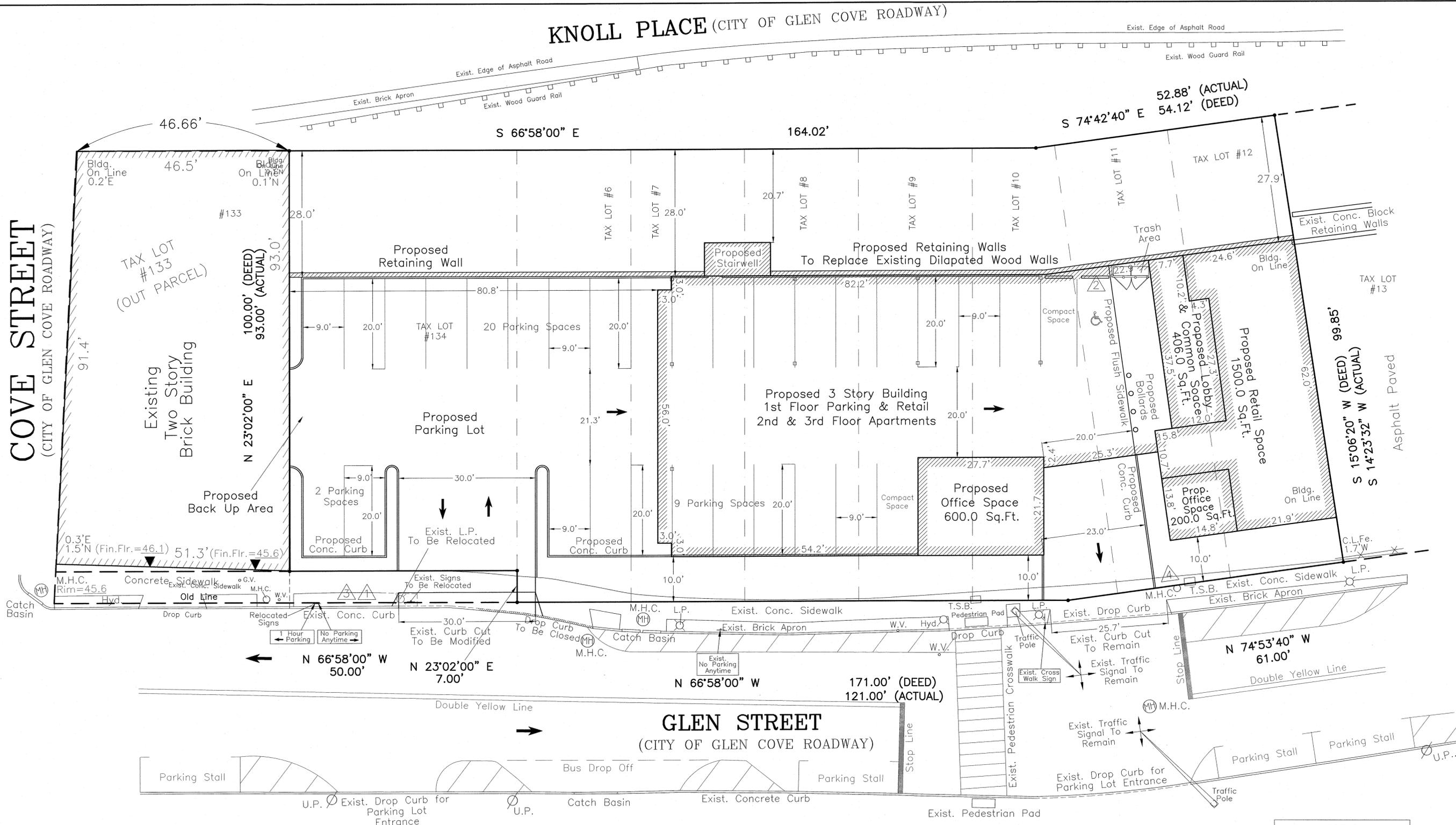
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REVISION:	
#	DATE/COMMENT

TITLE
DEMOLITION PLAN
SHEET
SP-2

KNOLL PLACE (CITY OF GLEN COVE ROADWAY)

COVE STREET (CITY OF GLEN COVE ROADWAY)



SITE DATA

N.C.T.M. No:	Sec. 23 Blk. 11 Lots 6-13 & 134
TOTAL AREA:	22092.8 S.F. (0.552 Ac.)
NET LOT AREA:	16351.3 S.F. (0.375 Ac.)
PROPOSED BUILDING FOOTPRINT:	4817.1 S.F.
EXISTING ZONE:	CENTRAL COMMERCIAL DISTRICT
PROPOSED USE:	MULTI-FAMILY DWELLING/RETAIL
POST OFFICE:	GLEN COVE 11542
SCHOOL DISTRICT:	GLEN COVE SD
FIRE DISTRICT:	GLEN COVE FIRE DEPARTMENT
WATER DISTRICT:	GLEN COVE WATER DEPARTMENT
POLICE DISTRICT:	GLEN COVE POLICE DEPARTMENT
SEWER DISTRICT:	GLEN COVE SEWAGE TREATMENT PLANT

PARKING CALCULATION:

Apartment: (4) Studio Apartments = 4 Spaces
(10) One Bedroom Apartment = 15 Spaces
(2) Two Bedroom Apartment = 4 Spaces
Retail: 1 Space Per 250 Sq.Ft.
S.F. = 1500.0 s.f. / 250.0 = 6
Office: 1 Space Per 200 Sq.Ft.
S.F. = 800.0 s.f. / 250.0 = 4
Mixed Use Credit = -2 Spaces
Total Spaces Required = 31 Spaces
Total Spaces Provided = 31 Spaces

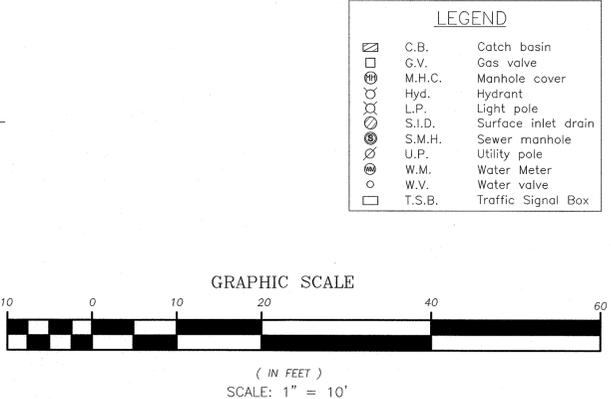
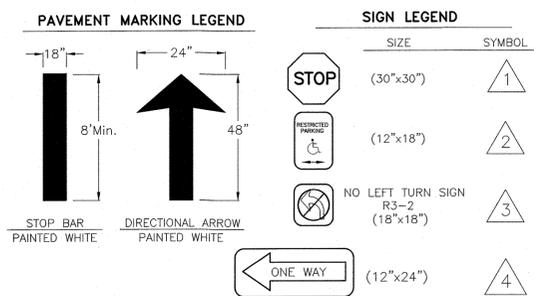
PERCENT COVERAGE CALCULATION:

Building Area	8348.0 s.f.
Coverage	8348.0 s.f.
Coverage =	8348.0 s.f. / 16351.3 s.f.
Net Lot Area	16351.3 s.f.
	= 0.511 = 51.1%

Bulk Requirements B-1 Central Commercial District

ZONED:	Code Sec.	Required	Provided
Min Lot Size	§280-65(b)	5,000 SF	(GROSS) 22092.8 SF (0.552 Acres*) (NET) 16351.3 SF (0.375 Acres*)
Min. Front Yard	§280-65(j)	10.0'	10' (Knoll Place) 20.7' (Knoll Place) 0' (East) 80.8' (West)
Min. Side Yard	§280-65(i)	0.0'	80.8' (West)
Max. Building Height	§280-65(h)	4 Stories/45'	3 Stories/33.5'
Max. Building Coverage	§280-65(f)	65%	51.1%
Min. Parking Stall Required	§280-65(g)	31 Spaces	31 Spaces

*Per Glen Cove Code Sec. 208-6 (1 Acre = 40,000 SF)



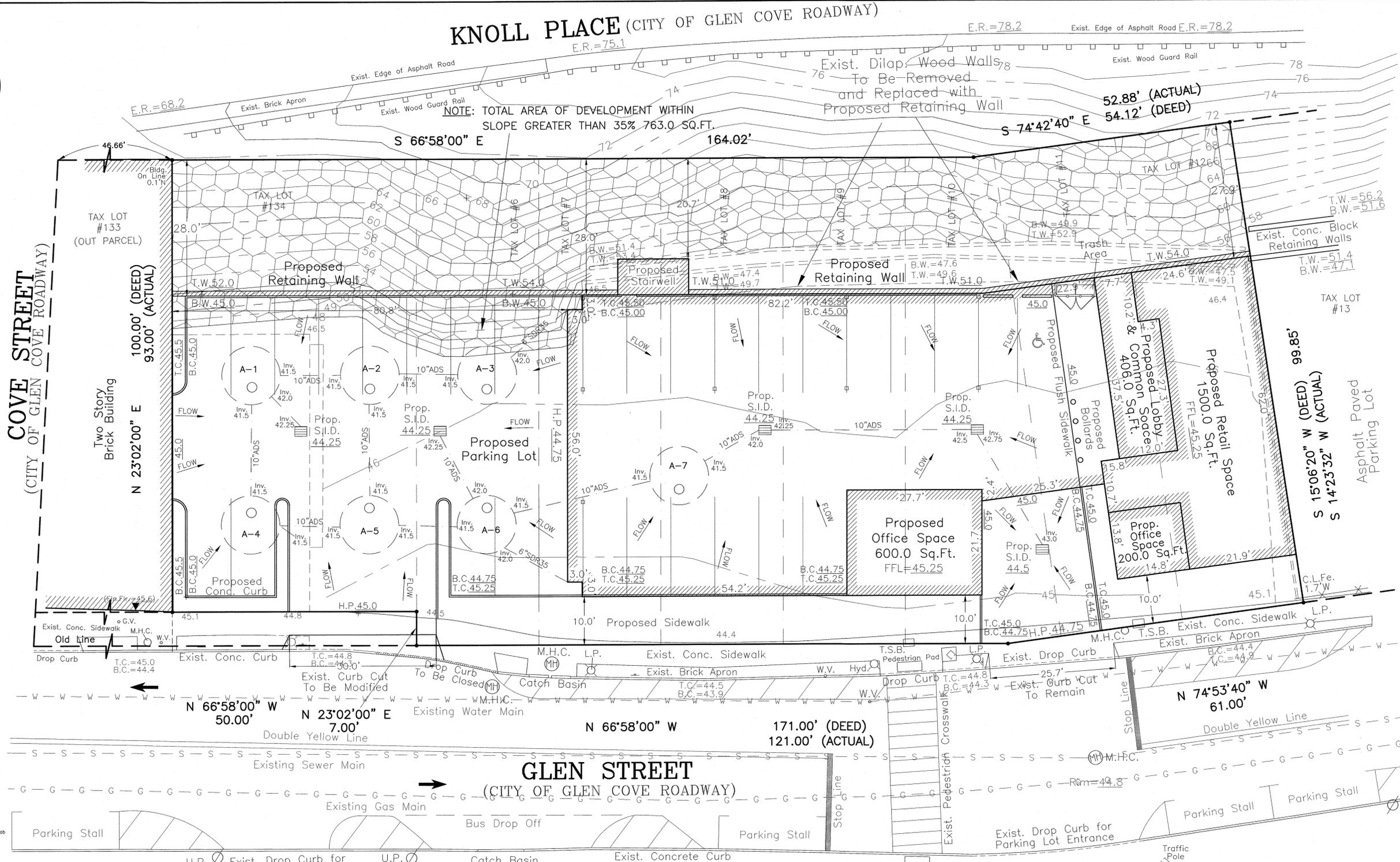
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KNOLL PLACE (CITY OF GLEN COVE ROADWAY)

COVE STREET
(CITY OF GLEN COVE ROADWAY)



NOTE: TOTAL AREA OF DEVELOPMENT WITHIN
SLOPE GREATER THAN 35% 763.0 SQ.FT.

52.88' (ACTUAL)
54.12' (DEED)

Two Story
Brick Building
N 23°02'00" E
100.00' (DEED)
93.00' (ACTUAL)

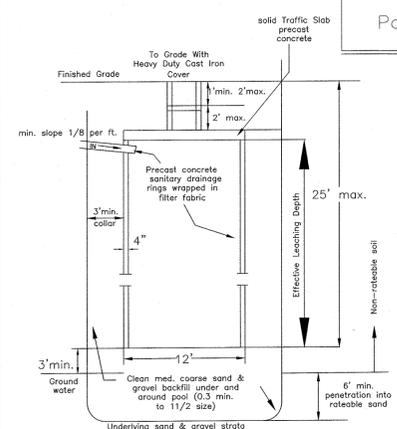
Proposed Retail Space
1500.0 Sq.Ft.
S 15°06'20" W (DEED)
S 14°23'32" W (ACTUAL)
99.85'
Asphalt Paved
Parking Lot

Proposed
Office Space
600.0 Sq.Ft.
FFL=45.25

Prop. Office
Space
200.0 Sq.Ft.

LEGEND

- C.B. Catch basin
- G.V. Gas valve
- M.H.C. Manhole cover
- Hyd. Hydrant
- L.P. Light pole
- S.I.D. Surface inlet drain
- S.M.H. Sewer manhole
- U.P. Utility pole
- W.M. Water Meter
- W.V. Water valve
- T.S.B. Traffic Signal Box



DRAINAGE CALCULATIONS:
Proposed Building Area = 8348.0 s.f.
Runoff = 8348.0 s.f. x 5"/12 = 3478.3 cu.f.
Proposed Parking Lot Area = 4864.0 s.f.
Runoff = 4864.0 s.f. x 5"/12 = 2026.7 cu.f.
Total Runoff Volume = 5505.0 cu.f.
5505.0 cu.f./ 100.88 cu.f. per ft. of ring
= 54.6 ft. req'd.
Use 56 ft. of 12 ft. Diam. rings
7 Proposed Drywells of 8' x 12' Diam. Rings

PROPOSED DRAINAGE STRUCTURES

Drainage Structure	Diameter	Effective Depth	Invert In	Invert Out	Top	Bottom
A-1	12.0'	8.0'	42.0'	41.5'	44.5'	33.5'
A-2	12.0'	8.0'	41.5'	41.5'	44.5'	33.5'
A-3	12.0'	8.0'	42.0'	41.5'	44.75'	33.5'
A-4	12.0'	8.0'	41.5'	41.5'	44.5'	33.5'
A-5	12.0'	8.0'	41.5'	41.5'	44.5'	33.5'
A-6	12.0'	8.0'	42.0'	41.5'	44.5'	33.5'
A-7	12.0'	8.0'	41.5'	41.5'	44.5'	33.5'

SOIL BORING #1 - February 1, 2017
Performed By East Coast Geoservices, LLC

Depth	Classification Of Soil
2.0'	Blk. Silty Sand/Wht. Fine Sand (SM/SP)
6.0'	Gray to Brn. Silty Sand (SM/SP)
8.0'	White Fine Sand (SP)
12.0'	Gray & White Sand w/ SIL (SM/SP)
15.0'	Reddish Wht. Silty Clay (CL)
17.0'	Gray Silty Sand (SM)
30.0'	Wht./Gray/Pink Fine Sand (SP)
32.0'	Lt. Brn. Fine Sand (SP)
35.0'	Gray Silty Clay (SM)
40.0'	White Fine Sand (SP)
45.0'	Gray Silty Sand (SM)
50.0'	White Fine Sand (SP)

SOIL BORING #2 - February 1, 2017
Performed By East Coast Geoservices, LLC

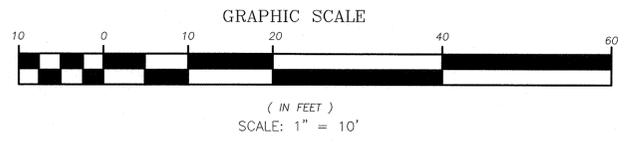
Depth	Classification Of Soil
6.0'	Brn. Silty Sand (SM)
8.0'	Brn. Fine Sand to Silty Sand (SP/SM)
10.0'	Brn. Silty Sand, Tr. Gravel (SM)
20.0'	Brn. Fine Sand to Silty Sand (SP/SM)
42.0'	Lt. Brn. Fine Sand, Tr. Gravel (SP)
42.0'	Lt. Brn. Fine Sand (SP)
45.0'	Gray Silty Sand (CL)
45.0'	Lt. Brn. Fine Sand (SP)
46.0'	Gray Silty Clay (CL)
50.0'	Lt. Brn. Fine Sand (SP)
51.0'	Gray Silty Clay (CL)
51.0'	Gray Silty Clay (CL)

SLOPE DESCRIPTION

- Slope Greater Than 35% = 5741.5 SF
Lot Area Deduction = 5741.5 SF
- Slope Between 25%-35% = 0 SF
Lot Area Deduction = 0 SF
- Slope Between 15%-25% = 0 SF
Lot Area Deduction = 0 SF

SLOPE AREA CALCULATION:
Proposed Slope Area Development = 763.0 sq.ft.
Total Slope Area = 5741.5 sq.ft.
% Slope Developed = $\frac{\text{Developed Area}}{\text{Slope Area}} = \frac{763.0 \text{ s.f.}}{5741.5 \text{ s.f.}} = 0.133 = 13.3\%$

NOTE: TOTAL AREA WITHIN LIMITS OF DISTURBANCE IS 17807.7 Sq.Ft.



Northcoast Civil
LAND SURVEYING & CIVIL ENGINEERING
31 SPAIN STREET
GLEN COVE, NY 11542
P: (516) 922-3031 F: (516) 922-7475

PROPOSED 3 STORY MIXED USE BUILDING
115 GLEN STREET
GLEN COVE, NY 11542



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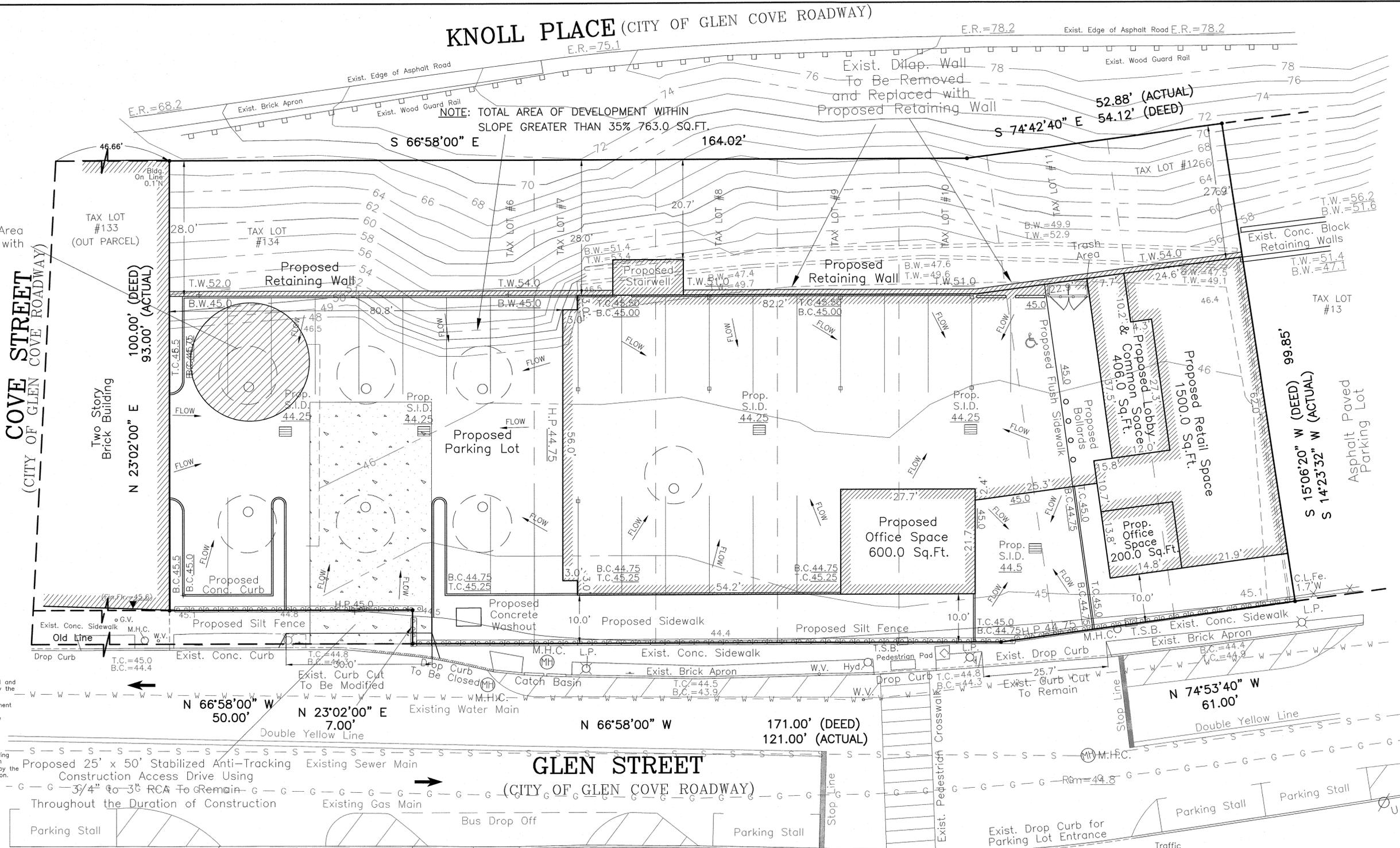
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GRADING & DRAINAGE PLAN
SHEET
SP-4



KNOLL PLACE (CITY OF GLEN COVE ROADWAY)

COVE STREET (CITY OF GLEN COVE ROADWAY)

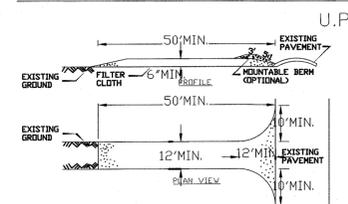


CONSTRUCTION SPECIFICATIONS

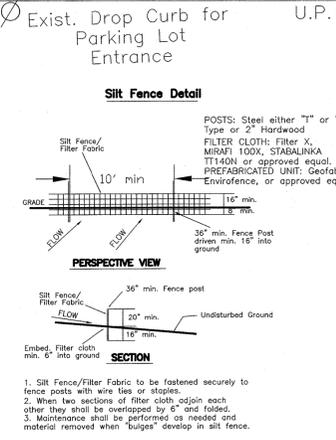
1. Finished Land Surface will be graded as shown on grading plan
2. The fill slope is not to exceed 1.6:1
3. Topsoil will be removed from areas to be graded and stockpiled on location.
4. Areas to be filled will be cleared and grubbed.
5. Fill will consist of clean sand with gravel and will be placed in layers beginning at the toe and extending to the limits of the disturbed bank.
6. After fill and straw bale dike construction the drainage facilities may be installed.
7. After fill and straw bale dike construction the drainage facilities may be installed.
8. Slope to be scarified where necessary for application of topsoil.
9. Topsoil to be distributed to a uniform depth over the area. The topsoil shall be promptly fertilized, seeded, mulched, and stabilized by "tracking" with suitable equipment.
10. Apply topsoil to a depth of 2 inches. Lines to a pH of 6.0. Fertilize with 600 lbs. of 5-10-10 or equivalent per acre.
11. Seed to be applied uniformly by hydroseeding. Straw (small grain) mulch applied at 2tons/acre (90lbs/1,00sq.ft.) and anchored with wood fiber mulch (hydromulch) at 500-750lbs/acre (11-17 lbs/1,000sq.ft.). The wood fiber mulch must be applied through a hydroseeder immediately after mulching.
12. Silt Fence shall not be removed until full growth of the hydroseeded embankment has been established and approved and the embankment has been inspected by the Engineering Section of Planning and Development.
13. All washed out and rutted areas on the embankment are to be filled in with topsoil and reseeded until full growth of the hydroseed has been established for the embankment.
14. Watering will be dictated by weather conditions with 1 to 2 inches of water per application.
15. All grading and landscaping disturbed on neighboring properties as a result of existing erosion, construction or revegetation of the embankment, will be restored by the contractor prior to issuance of certificate of completion.

TOPSOIL

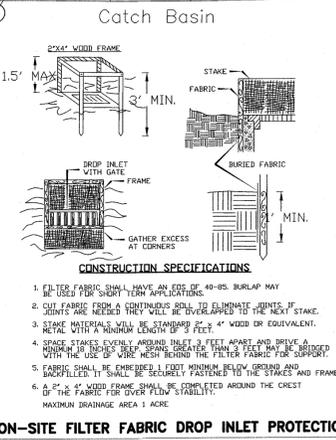
1. Topsoil shall have at least 2% by weight of fine texture stable organic material, and no greater than 6%. Muck soil shall not be considered topsoil.
2. Topsoil shall have not less than 20% fine textured material (passing the No.200 sieve) and not more than 15% clay.
3. Topsoil treated with soil sterilants or herbicides shall be so identified to the purchaser.
4. Topsoil shall be relatively free of stones over 1 & 1/2 inches, trash, noxious weeds such as nutsedge and quackgrass, and will have less than 10% gravel by volume.
5. Topsoil containing soluble salts greater than 500 ppm shall not be used.



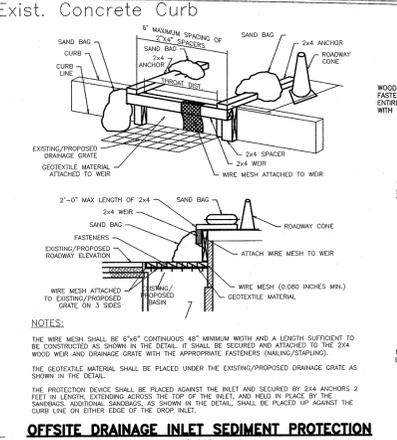
- ### STABILIZED CONSTRUCTION ACCESS
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 30 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FEET MINIMUM LENGTH WOULD APPLY.
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE DRIVES OR EXCESS SCOUR, TWENTY-FOUR (24) FEET IF STAKE PRESENT; A REMOVABLE BEAM WITH 54 SLIPS WILL BE PROVIDED.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL; A REMOVABLE BEAM WITH 54 SLIPS WILL BE PROVIDED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLER, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE IMMEDIATELY REMOVED.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH BRINGS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH



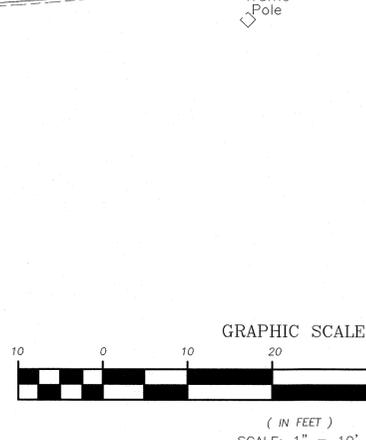
- ### ON-SITE FILTER FABRIC DROP INLET PROTECTION
1. Silt Fence/Filter Fabric to be fastened securely to fence posts with wire ties or staples.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
 3. Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.



- ### OFFSITE DRAINAGE INLET SEDIMENT PROTECTION
1. FILTER FABRIC SHALL HAVE AN EDGE OF 40-85 BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 2. CUT FABRIC FROM A CONTIGUOUS ROLL TO ELIMINATE JOINTS IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 3. STAKE MATERIALS WILL BE STANDARD 4" WOOD OR EQUIVALENT. RETAIL WITH A MINIMUM LENGTH OF 9 FEET.
 4. STAKE MATERIALS SHALL BE STAKED IN 1 FOOT SPACES AND DRIVE A MINIMUM 18 INCHES INTO THE GROUND. STAKES SHALL BE SET WITH THE USE OF A WIRE MESH BEHIND THE FILTER FABRIC FOR STAKING.
 5. FABRIC SHALL BE OVERLAPPED 1 FOOT MINIMUM BELOW GROUND AND BACKLAPPED IF WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
 6. MAXIMUM DRAINAGE AREA 1 ACRE.



- ### CONCRETE WASHOUT DETAIL
1. WIRE MESH SHALL BE 6"x4" CONTINUOUS 48" MINIMUM WIDTH AND A LENGTH SUFFICIENT TO BE CONTINGENT AS SHOWN IN THE DETAIL. IF SHALL BE SECURED AND ATTACHED TO THE 2'x4" WOOD WALK AND DRAINAGE GATE WITH THE APPROPRIATE FASTENERS (NAILING/STAPLING).
 2. THE PROTECTION BEAMS SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2'x4 ANCHORS 2 FEET IN LENGTH, EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY THE SANDBAGS. ADDITIONAL SANDBAGS IS SHOWN IN THE DETAIL. SHALL BE PLACED UP AGAINST THE CURB LINE ON EITHER EDGE OF THE DROP INLET.



LEGEND	
	C.B. Catch basin
	G.V. Gas valve
	M.H.C. Manhole cover
	Hyd. Hydrant
	L.P. Light pole
	S.I.D. Surface inlet drain
	S.M.H. Sewer manhole
	U.P. Utility pole
	W.M. Water Meter
	W.V. Water valve
	T.S.B. Traffic Signal Box

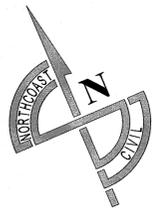


PROPOSED 3 STORY MIXED USE BUILDING



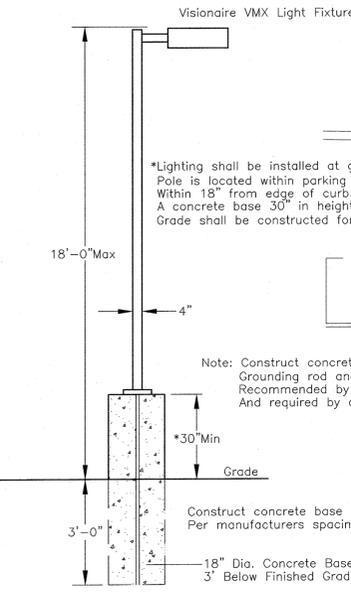
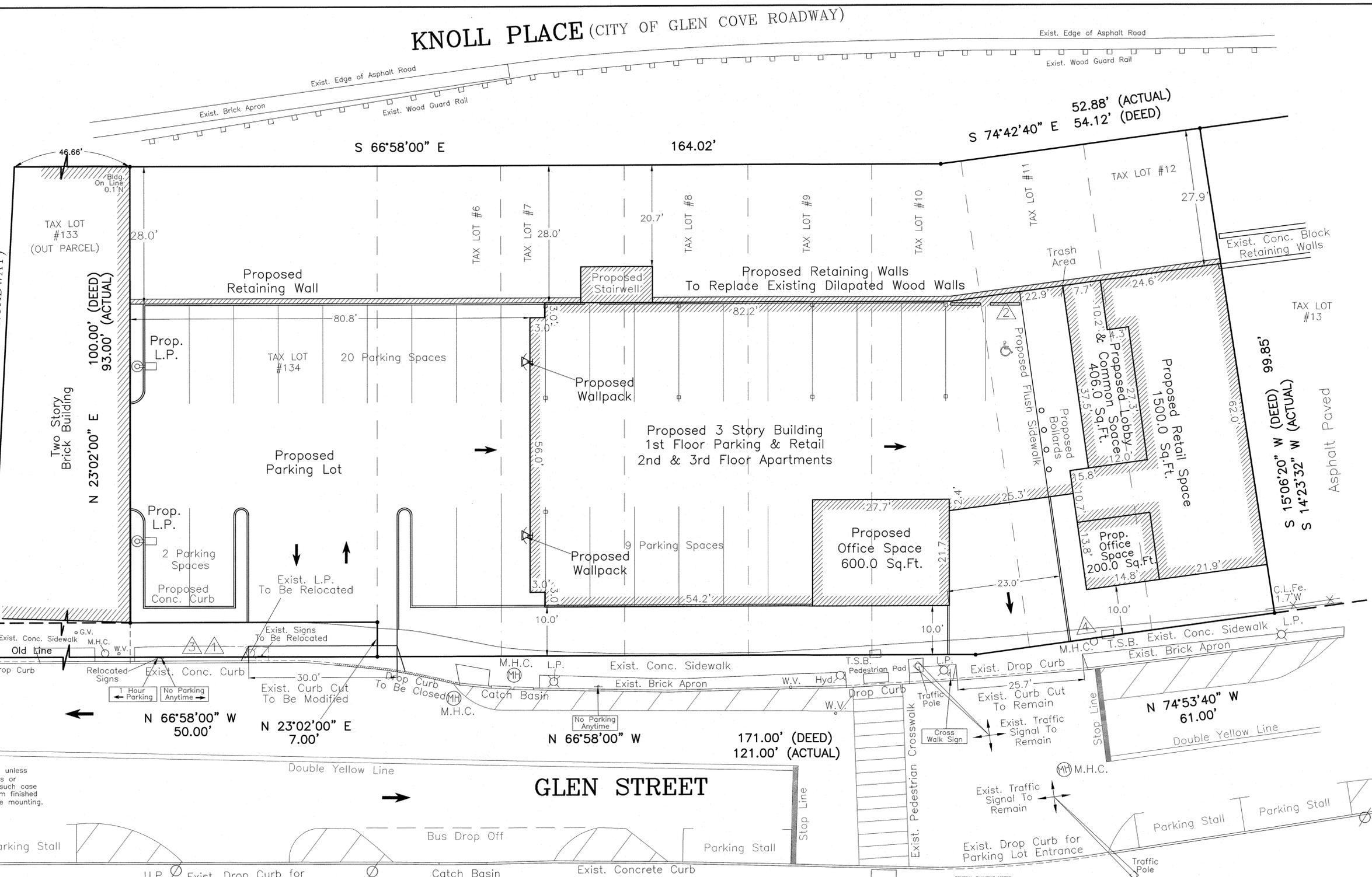
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CHECKED BY:	MJR
SCALE:	1"=10'
AREA:	0.552 ACRES
DATUM:	22092.8 SQ.FT.
REVISION:	NAVD/88

SOIL EROSION CONTROL PLAN



KNOLL PLACE (CITY OF GLEN COVE ROADWAY)

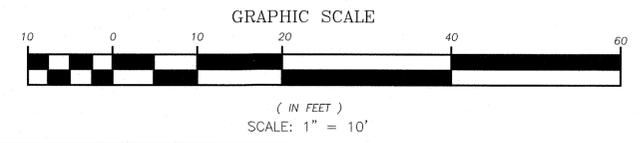
COVE STREET (CITY OF GLEN COVE ROADWAY)



Symbol	Qty	Arrangement	Description	Filename
⊕	2	SINGLE	WALLPACK	VISIONAIRE VSC-1-T3-32LC-7-5K-UNV-WM@10'MTG.HT.
⊙	2	SINGLE	POLE MOUNTED	VISIONAIRE VMX-1-T2-48AR-5-4K-VOLT-AM@18'MTG.HT.

NOTE: Downshielding measures to be used on all fixtures
 NOTE: Minimum of 1.00 Lumens per square foot of lighting will be provided throughout the entire site and residential dwellings shall be shielded. Maximum of 3 lumens/sf on site.

- GENERAL PLANTING NOTES**
- ALL PLANT MATERIALS AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSESMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT, NOT INDICATED TO REMAIN UNDISTURBED, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN, TYPE AS NOTED.
 - ALL PLANTS NOT OTHERWISE DESIGNATED ARE TO BE DELIVERED BAB (BALLED AND BURLAPED), NO BARE ROOT OR FIELD CLUMP MATERIAL IS ALLOWED (EXCEPT BULBS AND DAYLILIES).
 - LAYOUT SHRUBS IN APPROXIMATE LOCATIONS AND OBTAIN APPROVAL OF LANDSCAPE ARCHITECT (LS) BEFORE PLANTING. LA WILL PLACE ALL PERENNIALS AND INDICATE GROUND COVER SPACING IN THE FIELD.
 - REPORT ANY UNSATISFACTORY CONDITIONS IMMEDIATELY TO THE OWNER OR LANDSCAPE ARCHITECT FOR RESOLUTION. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR UNSATISFACTORY CONDITIONS REPORTED AFTER THE FACT OR AFTER COMPLETION OF PLANTING.
 - ALL AREAS DISTURBED BY CONSTRUCTION TO BE REPAIRED OR RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - PLANTING SOIL MIXTURE: 2 PARTS NATIVE SOIL TO 2 PARTS TOPSOIL TO 1 PART ORGANIC COMPOST.
 - ALL LAWN AREAS TO RECEIVE 4" TOPSOIL, PLANT AND ANNUAL BEDS 12" TOPSOIL.
 - APPLY 15 LBS 5-10-10 FERTILIZER, 70 LBS LIMESTONE FER 1000 SF TO ALL NEW AREAS. ADJUST PER SOIL TEST.
 - HYBRID SEED ALL SEEDED LAWN AREAS WITH VICTA KENTUCKY BLUEGRASS, AXE LORETTA PERENNIAL RYEGRASS 20%, PENNIN PERENNIAL RYEGRASS 20%, ANNUAL RYEGRASS 10% TACKLER AND HYPOCHOERIS SUCCECRANCE WITH SPECIFICATIONS.
 - ALL PLANTS AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK. FOR THIS CONTRACT, ALL PLANTS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION. ANY PLANT NOT MEETING THESE CONDITIONS SHALL BE REPLACED WITH A PLANT OF SIMILAR SIZE AND TYPE AT THE NEXT PLANTING SEASON.
 - ALL PLANTED AND GRASSED AREAS OF THE SITE TO BE IRRIGATED.
 - ANY EXISTING TREES(S) SHOWN TO REMAIN WHICH ARE REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH A 4" CALIPER TREE(S) AS DIRECTED BY THE TOWN.

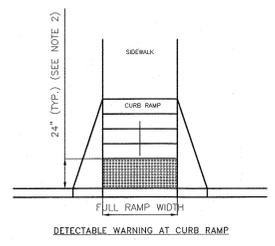


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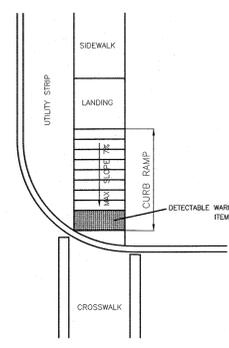
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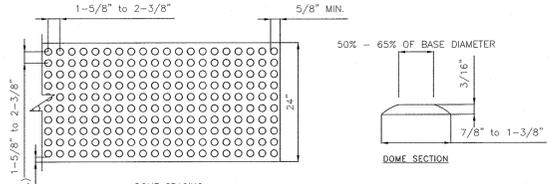
- NOTES:**
- THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
 - THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.
 - THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
 - WHERE DOMES ARE ARRAYED RADIALLY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.
 - THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE MOST CURRENT ADAAG.
 - THE DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5' TO 8' FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED).



DETECTABLE WARNING AT CURB RAMP



CURB RAMP CONFIGURATION TYPE 1

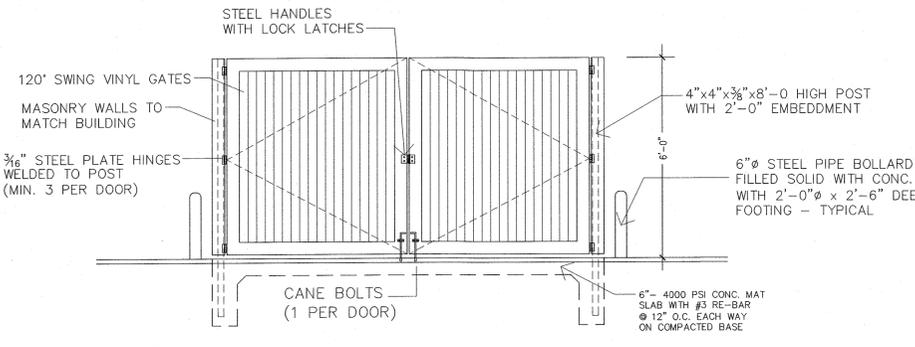


DOME SPACING



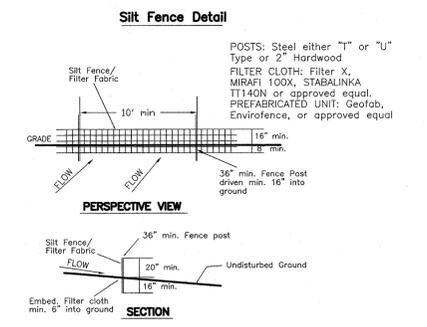
COUNTER SLOPE CONDITIONS FOR SIDEWALK RAMPS

NOTE: TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 48" LEVEL STRIP (1:50 MAX. IN DIRECTION OF PEDESTRIAN TRAVEL) IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE AND ROADWAY CROSS SLOPE EXCEEDS 11%.



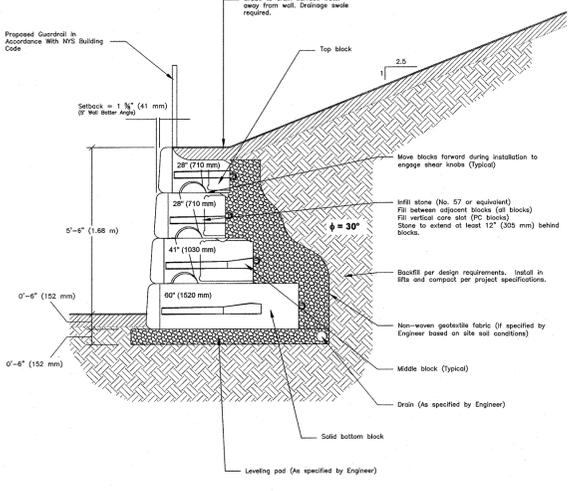
TRASH ENCLOSURE DETAIL

N.T.S.

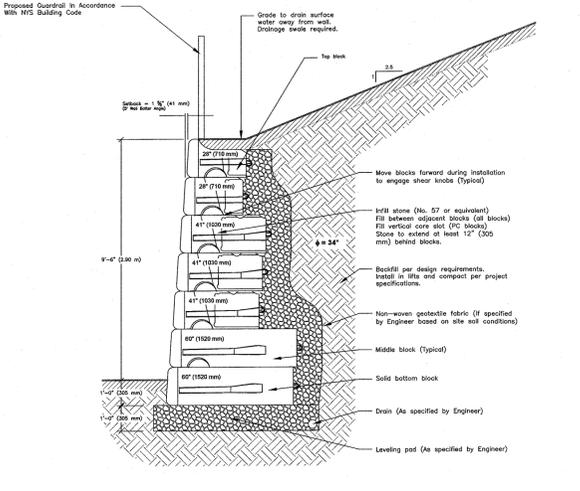


Silt Fence Detail

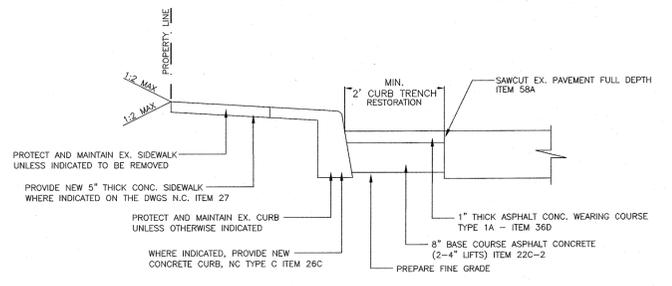
- Silt Fence/Filter Fabric to be fastened securely to fence posts with wire ties or staples.
- When two sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.



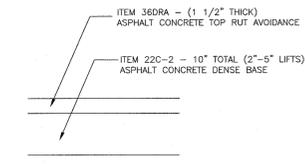
6' RETAINING WALL SECTION



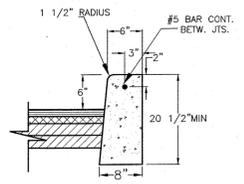
10' RETAINING WALL SECTION



PAVEMENT RESTORATION DETAIL



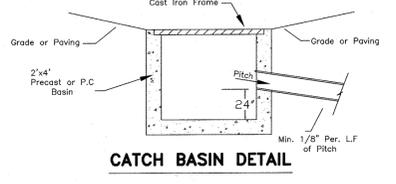
OFFSITE PAVEMENT DETAIL



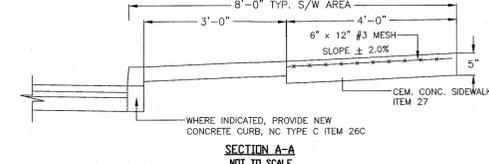
OFFSITE CONCRETE CURB TYPE C ITEM 26SP-C



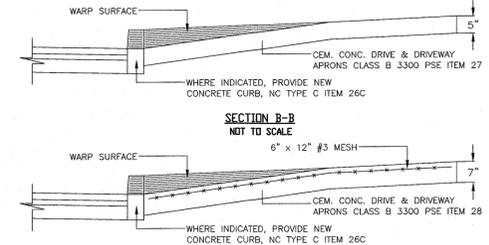
INTERNATIONAL HANDICAP SYMBOL



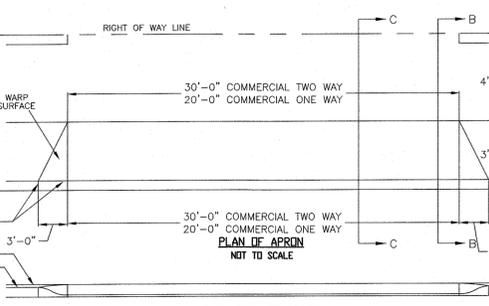
CATCH BASIN DETAIL



SECTION A-A NOT TO SCALE

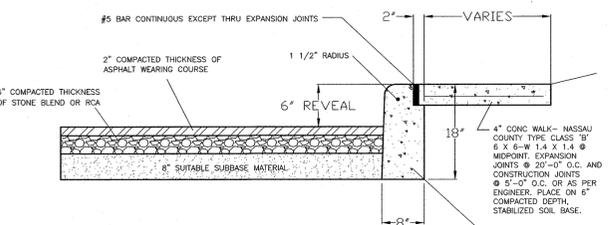


SECTION B-B NOT TO SCALE



ELEVATION OF APRON NOT TO SCALE

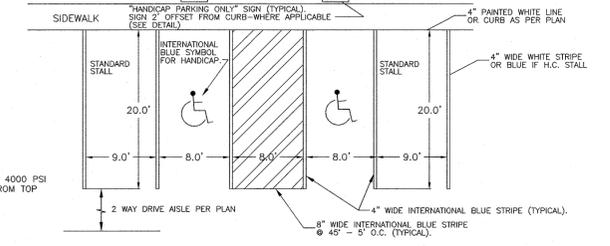
CONCRETE APRON DETAIL



ON SITE CONC. CURB, SIDEWALK & ASPHALT PAVEMENT DETAIL

NOT TO SCALE

- NOTE:
- ALL WORK SHALL CONFORM TO CITY OF GLEN COVE SPECIFICATIONS.
 - PROVIDE 1/2" PREMOLDED BITUMINOUS EXPANSION JOINTS ALONG CURB AT 20' O.C. MIN., AT ALL CURB P.C.'S ; P.T.'S AND BOTH ENDS OF CURB CUTS.
 - PROVIDE 1/2" PREMOLDED BITUMINOUS EXPANSION JOINTS ALONG CONCRETE SIDEWALK AT 20' O.C. MIN., AT ALL INTERSECTIONS WITH OTHER WALKS AND CONCRETE HANDICAP RAMPS.
 - HANDICAP RAMPS SHALL CONFORM TO THE LATEST N.Y.S. STANDARDS
 - ALL CONCRETE FOR CURB SHALL BE NASSAU COUNTY CLASS 'A'
 - ALL CONCRETE FOR SIDEWALKS SHALL BE NASSAU COUNTY CLASS 'B'
 - CURB REVEAL SHALL BE 6" TYPICAL UNLESS WHERE NOTED ON PLAN.
 - DAMAGED BASE AND BINDER COURSE SHALL BE REMOVED AND REPLACED PRIOR TO PLACEMENT OF TOP COURSE.
 - TOP COURSE SHALL BE PLACED AFTER CONSTRUCTION HAS BEEN SUBSTANTIALLY COMPLETED AS DETERMINED BY THE OWNER OR OWNERS REPRESENTATIVE.



PARKING AREA STRIPING AND ALIGNMENT DETAIL

NTS

- HANDICAP PARKING STALLS AND ACCESS RAMPS SHALL BE IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAN 101-336 EFFECTIVE JANUARY 26, 1992
- ALL PARKING STALLS TO BE STRIPED WITH SINGLE LINE AS PER TOWN OF GLEN COVE.
- ALL PARKING LOT STRIPING TO BE WHITE SHERWIN-WILLIAMS A-100 ACRYLIC EXTERIOR FLAT LATEX SERIES A8 PAINT OR EQUAL, EXCEPT HANDICAP STRIPING COLOR.